



THE CITY OF SAN DIEGO

## REPORT TO THE HEARING OFFICER

HEARING DATE: May 22, 2013 REPORT NO. HO 13-044

ATTENTION: HEARING OFFICER

SUBJECT: ROBERTS RESIDENCE; PROJECT NO. 294531  
PROCESS 3

LOCATION: 9438 La Jolla Farms Road

OWNER/  
APPLICANT: Douglas A. Roberts Trust/  
Diane B. Roberts and Ralph J. Roberts, Jr, Trustees

### SUMMARY

Requested Action: Should the Hearing Officer approve additions to an existing single family dwelling unit on a 1.13 acre site located at 9438 La Jolla Farms Road in the La Jolla Community Planning area?

Staff Recommendation: **APPROVE** Coastal Development Permit No. 1051681 and Site Development Permit No. 1051682.

Community Planning Group Recommendation: On December 6, 2012, the La Jolla Community Planning Association voted 13-0-1 to recommend approval of the project (Attachment 9).

Environmental Review: This project is exempt from environmental review pursuant to Article 19, Section 15302 (Replacement or Reconstruction), of the California Environmental Quality Act (CEQA). The project proposes additions to an existing 3,377 square foot single family dwelling unit. The environmental exemption determination for this project was made on March 29, 2013. The Notice of Right to Appeal (NORA) was posted on April 5, 2013 and the opportunity to appeal that determination ended April 26, 2013 (Attachment 11).

### BACKGROUND

The proposed project site is located at 9438 La Jolla Farms Road (Attachment 1), northwest of La Jolla Shores Drive and N. Torrey Pines Road (Attachment 2). The property is in the RS-1-2 Zone (Attachment 3) within the La Jolla Community Plan area (Attachment 4), Coastal Overlay Zone (Appealable), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Beach

Impact and Campus Impact areas), and the Residential Tandem Parking Overlay Zone. The property is located between the sea and the first public roadway paralleling the sea, which are identified as La Jolla Shores Drive and N. Torrey Pines Road at this location. The zoning designation is for single family residential use and the La Jolla Community Plan (LJCP) designates the project site for Very Low Density Residential use at 0-5 dwelling units per acre (du/ac). The project site, occupying 1.13 acres, could accommodate one dwelling unit and accessory uses and buildings based on the underlying zone, and 0-5 dwelling units based on the community plan.

The project site has been previously graded and developed with an existing single-family dwelling unit, which was constructed in 1964 in the International style. The residence is designated as a historic resource and is listed as Historical Resource Board (HRB) Site #1054-Jacob Bronowski House. The historic name reflects the name of the historically significant individual who owned and resided at the residence between 1964 and his death in 1974. Jacob Bronowski was recruited by James Salk to serve as one of the five 'founding fellows' of the Salk Institute. In addition, Bronowski was a distinguished mathematician and humanist with a long career in which he researched, lectured, published, produced, and wrote and produced his highly acclaimed series and book, *The Ascent of Man*. The residence was designated on June 28, 2012, as a historic resource.

Properties to the north, east, and south contain single-family residential development. The land use designation for the properties is Very Low Density Residential (0-5 du/ac) and zoned RS-1-2. The property to the west is an undeveloped canyon and the land use designation for the property is Parks and Open Space, and zoned RS-1-1.

## DISCUSSION

### Project Description:

The project proposes a 1,495 square foot addition to an existing 3,377 square foot single family dwelling unit, a 1,956 square foot habitable accessory building, a 1,094 non-habitable accessory building, screened pool area, two garages and a screened parking area. The habitable accessory building consists of a two bedroom guest quarters. As proposed, the project will comply with separately regulated use requirements for guest quarters in Land Development Code (LDC) Section 141.0306 and conditions have been added to the development permit to assure compliance with the regulations. The non-habitable accessory building would consist of a ceramic studio and storage, and a mechanical room on the lower level. The proposed modifications and additions have been designed to be consistent with the Secretary of Interior Standards due to the historic nature of the existing structure.

The proposed one story main structure will have a maximum building height of 16 feet at the great room, a 11 foot height for the habitable accessory building, and a 16 foot height from the highest point of grade for the non-habitable accessory building with the lower mechanical room stepping down the slope an additional 10 feet. Therefore, all of the buildings and any projections will not exceed the maximum 30 foot height limit allowed by the Coastal Height Limitation Overlay Zone. The western edge of the project site contains Environmentally Sensitive Lands (ESL) in the form of steep hillsides and sensitive biological resources, and lies within the boundaries of an Urban Area of the City of San Diego's Multiple Species Conservation Plan (MSCP). The western

property line of the site is located within approximately 50 feet the Multiple Habitat Planning Area (MHPA); however, the proposed additions and other improvements are a minimum of 150 feet east of the MHPA. The project has been designed to comply with the MSCP General Management Directives and the MSCP Subarea Plan's Land Use Adjacency Guidelines, such as lighting, drainage, landscaping, grading, access and noise.

The proposed development lies within the previously graded building pad and no portions of the development shall extend beyond the top of the slope or into the steep hillsides and sensitive biological resources. As a condition of approval, the owner/permittee shall execute and record a Covenant of Easement, which ensures preservation of the ESL that are outside the allowable development area on the premises as shown on Exhibit "A" for sensitive biological resources and steep hillsides, in accordance with LDC Section 143.0152.

The project proposes no deviations or variances from the applicable regulations and development standards in effect for this site. Development of the proposed project requires the approval of a Coastal Development Permit (CDP) for development within the Appealable Area of the Coastal Overlay Zone, and a Site Development Permit (SDP) for development on a site that contains ESL. As a component of the proposed project, the buildings will utilize renewable energy technology, self-generating at least 50 percent of the projected total energy consumption on site through photovoltaic technology (solar panels). Because the project utilizes renewable technologies and qualifies as a Sustainable Building, the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

#### Community Plan Analysis:

The project site is located at 9438 La Jolla Farms Road, northwest of La Jolla Shores Drive, within the LJCP area. The LJCP designates the project site for Very Low Density Residential use at 0-5 du/ac. The project site, occupying 1.13 acres, could accommodate 0-5 dwelling units based on the community plan. The surrounding development to the north, east, and south consists of single family residential dwelling units, and the property to the west is an undeveloped canyon. La Jolla Farms Road at this location is identified as a scenic overlook through the property. The community plan states that public views shall be retained and enhanced for public use. In addition, LDC Section 132.0403(b) requires a visual corridor of not less than the side yard setbacks or more than 10 feet in width, and running the full depth of the premises, be preserved as a deed restriction and has been included as a condition of approval of the permit.

The Residential Element of the LJCP identifies Community Character as common development pattern and streetscape themes throughout the neighborhood. Elements of character are illustrated through bulk and scale, street and site fixtures, and materials and colors used in pavement and in structural design. One of the goals within the LJCP is to maintain the character of the residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. Staff has determined that the proposed modifications and additions to the existing single family dwelling unit being set back from street and the architectural design is in scale and preserves the existing character of the surrounding neighborhood.

Conclusion:

The project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted LJCP, Local Coastal Program Land Use Plan, Land LDC, and the General Plan.

ALTERNATIVES

1. **APPROVE** Coastal Development Permit No. 1051681 and Site Development Permit No. 1051682, **with modifications.**
2. **DENY** Coastal Development Permit No. 1051681 and Site Development Permit No. 1051682, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Jeffrey A. Peterson  
Development Project Manager  
Development Services Department

WESTLAKE/JAP

Attachments:

1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Project Data Sheet
6. Project Plans
7. Draft Permit with Conditions
8. Draft Resolution with Findings
9. La Jolla Community Planning Association Recommendation
10. Ownership Disclosure Statement
11. Environmental Exemption
12. Project Chronology
13. Copy of Public Notice (forwarded to HO)
14. Copy of Project Plans (full size-forwarded to HO)

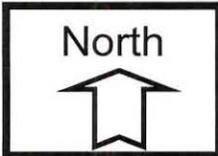
Internal Order No. 24003221



# Location Map

**Roberts Residence- Project No. 294531**

9438 La Jolla Farms Road



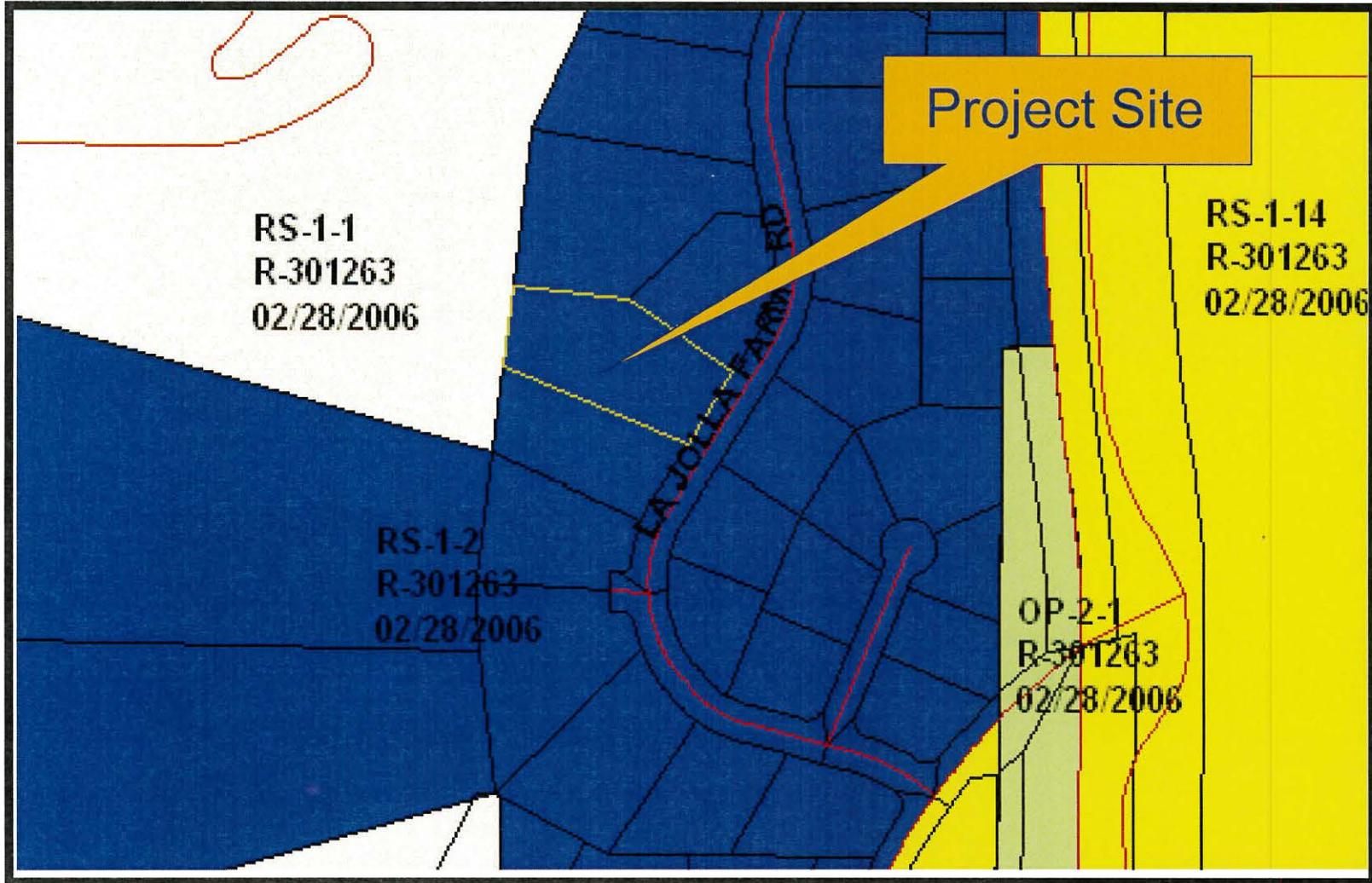


# Aerial Photograph

Roberts Residence- Project No. 294531

9438 La Jolla Farms Road

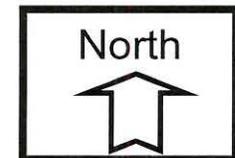


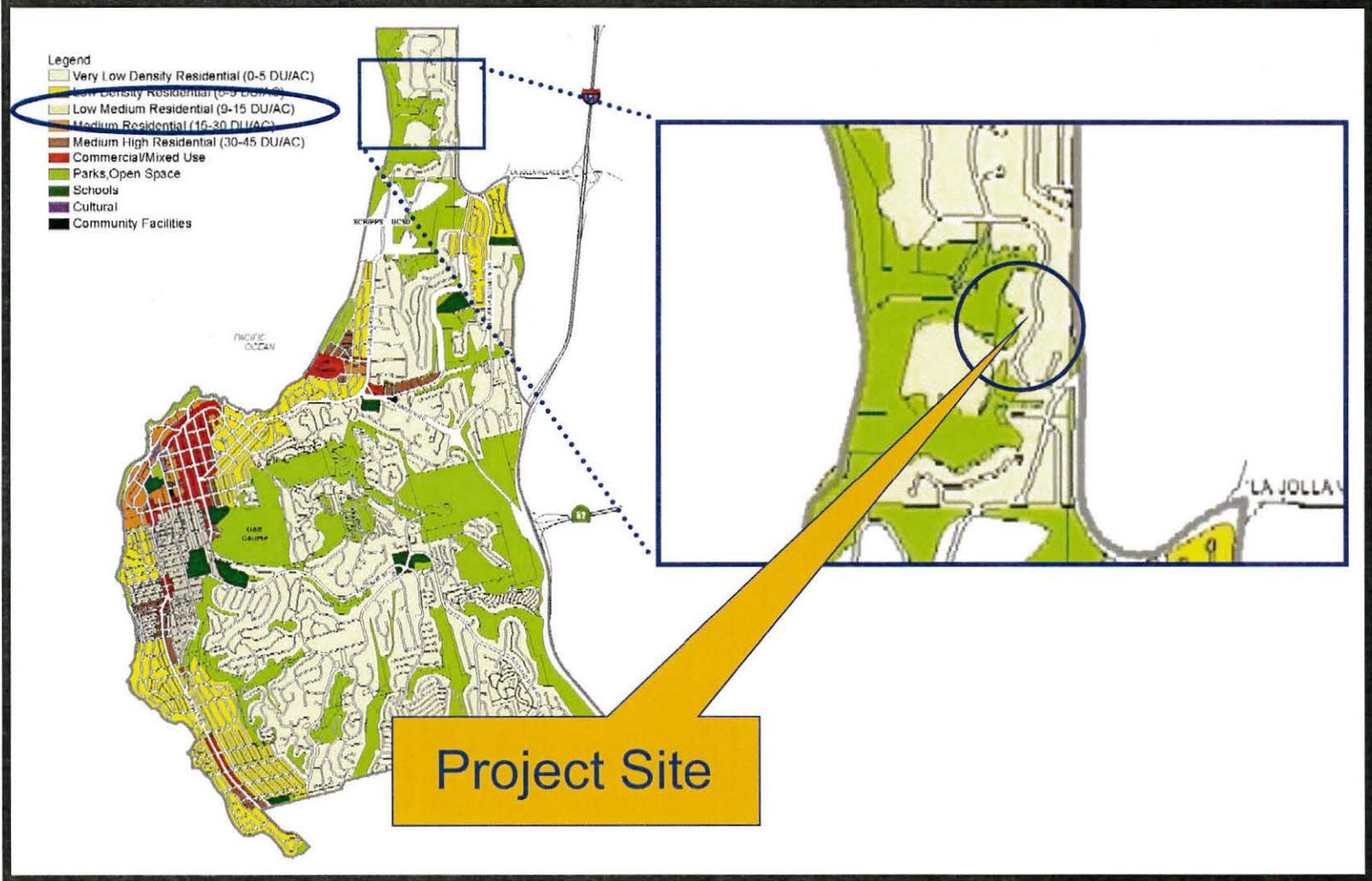


# Zoning Map

Roberts Residence- Project No. 294531

9438 La Jolla Farms Road





# La Jolla Community Plan Land Use Map

**Roberts Residence- Project No. 294531**

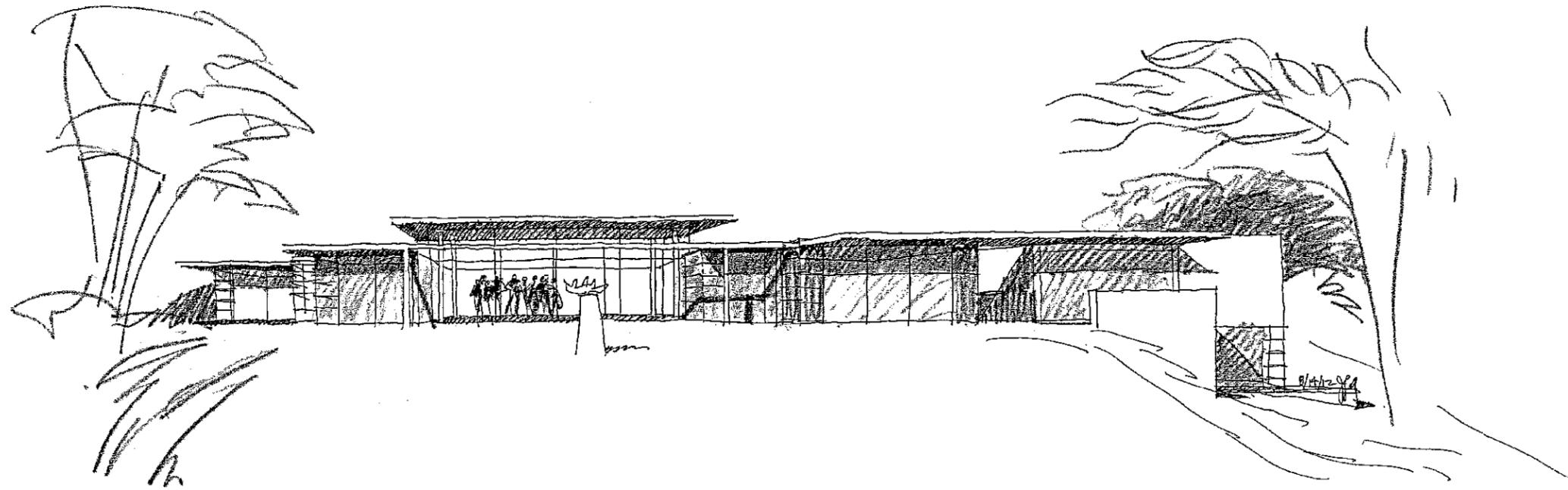
9438 La Jolla Farms Road



## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	Roberts Residence- Project No. 294531	
<b>PROJECT DESCRIPTION:</b>	Additions to an existing single family dwelling unit on a 1.13 acre site.	
<b>COMMUNITY PLAN AREA:</b>	La Jolla	
<b>DISCRETIONARY ACTIONS:</b>	Coastal Development Permit and Site Development Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Very Low Density Residential use at 0-5 du/ac	
<b><u>ZONING INFORMATION:</u></b>		
<p style="text-align: center;"><b>ZONE:</b> RS-1-2 Zone</p> <p style="text-align: center;"><b>HEIGHT LIMIT:</b> 30-foot maximum height limit (Coastal Height Limitation Overlay Zone)</p> <p style="text-align: center;"><b>LOT SIZE:</b> 5,000 square foot</p> <p style="text-align: center;"><b>FLOOR AREA RATIO:</b> 0.45</p> <p style="text-align: center;"><b>LOT COVERAGE:</b> NA</p> <p style="text-align: center;"><b>FRONT SETBACK:</b> 25 feet [LDC Section 131.0443(a)(2)]</p> <p style="text-align: center;"><b>SIDE SETBACK:</b> 15 feet 4 inch (North) &amp; 11 feet (South) [LDC Section 131.0443(a)(3)]</p> <p style="text-align: center;"><b>STREETSIDE SETBACK:</b> NA</p> <p style="text-align: center;"><b>REAR SETBACK:</b> 33 feet 9 inch [LDC Section 131.0443(a)(4)]</p> <p style="text-align: center;"><b>PARKING:</b> 6 spaces</p>		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Very Low Density Residential; RS-1-2	Single Family Residential Development
<b>SOUTH:</b>	Very Low Density Residential; RS-1-2	Single Family Residential Development
<b>EAST:</b>	Very Low Density Residential; RS-1-2	Single Family Residential Development
<b>WEST:</b>	Parks and Open Space; RS-1-1	Open Space
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	None with this action.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On December 6, 2012, the La Jolla Community Planning Association voted 13-0-1 to recommend approval of the project.	

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# Alcorn & Benton

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## ROBERTS RESIDENCE

9438 La Jolla Farms Road  
San Diego, California 92037

Project No.	
Design/ Drawing	
Sheet	NTS
Scale	NTS
Date	February 19, 2013
Completeness Submittal	September 06, 2012
CDP Submittal - 1	September 26, 2012
CDP Submittal - 2	December 13, 2012
CDP Submittal - 3	January 29, 2013
CDP Submittal - 4	February 20, 2013

### Perspectives

**0.1**  
SHEET 1 OF 27

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ARCHITECTS

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**ROBERTS RESIDENCE**

9438 La Jolla Farms Road  
San Diego, California 92037

Project No.	
Design/ Drawing	
Sheet	
Scale	See Drawings
Date	February 19, 2013
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Title Sheet  
Area Calculations

**0.2**  
SHEET 2 OF 27

DEVELOPMENT SUMMARY

<b>Purpose of this Application</b>	Coastal Development Permit (Process 3) Site Development Permit (Process 3)		
<b>Scope of Work</b>	Remodel of the existing house - The demolition of selected exterior walls/arches, demolition of all interior walls and raising the roof height. See the Demolition Plan on Sheet A1.0. <b>Additions:</b> - To the north of the existing house - The addition/expansion of bedrooms (single level). - To the south of the existing house - The addition of a 2-story detached studio/mechanical room (non-habitable). - To the east of the existing house - The addition of a 1-story detached garage & recreation/pool house. - Exterior improvements include additional trees, hardscaping, walls and a pond.		
<b>Existing Improvements</b>	Single family residence with attached 2 car garage		
<b>Proposed Deviations from Development Regulations</b>			
<b>Required Discretionary Permits &amp; Approvals</b>	Coastal Development Permit (Process 3) Site Development Permit (Process 3)		
<b>Site Information</b>	Plan Check Number PTS		
	Assessor's Parcel Number	342-061-04-00	
	Legal Description	Lot 24 of La Jolla Farms, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 3487, filed in the Office of County Recorder of San Diego County, August 9, 1958	
	Geologic Hazard Categories	53, 51	
	Earthquake Fault Buffer	No	
	Zoning Designations and Overlay	RS1-2, Coastal Height Limitation, Coastal Overlay, First Public Road-Way, Parking Impact (Beach & Campus), Residential Tandem Parking, La Jolla Community Plan, Fire Brush Zone 300' Buffer, Fire Hazard Severity Zone	
	Environmentally Sensitive Lands	Potential	
	Maximum Height	24'30'	
	Lot Size	49,145 sf	
	Dates of Original Construction	1963	
<b>Project Information</b>	Existing Building Footprint	3,377 sf	See 1/A0.2
	Proposed Building Footprint	7,593 sf	See 2/A0.2
	Gross Floor Area See 2/A0.2 & 3/A0.2	7,635 sf	0.16 FAR
	Building Footprint / Lot Coverage	3,377 sf	7% LC
	Front Yard	25'-0"	
	Side Yard - North	15'-4"	
	Side Yard - South	11'-0"	
	Rear Yard	33'-9" [SDMC 131.0443(a)(2)(A)(i)]	
	Parking required	6 Parking spaces	
	Existing Parking	2-car garage (to remain)	
Proposed Parking	The existing 2 car garage will remain. A new 2 car garage is proposed on the easterly portion of the site, 3 outside parking spaces are provided between the 2 garages, the new driveway may be used for any additional parking		
Construction Type	V-B with the addition of a fire sprinkler system		
Occupancy Classification	R-3		
Maximum Overall Height per Zoning	24'30'		
Project Architects	Alcorn & Benton, Architects 7757 Girard Ave La Jolla, Ca 92037 Phone - 858-459-0805 Fax - 858-459-1350		
Owners	Diane Roberts 1175 Mulhanda Drive La Jolla, Ca 92037		
<b>FEDERAL &amp; STATE LAW INCLUDING THE FEDERAL MIGRATORY BIRD TREATY ACT, STATE LAW - FISH &amp; GAME CODE - SECTION 3903:</b>			
IT IS UNLAWFUL TO TAKE, POSSESS, OR NEEDLESSLY DESTROY THE NEST OR EGGS OF ANY BIRD, EXCEPT AS OTHERWISE PROVIDED BY THIS CODE OR ANY REGULATION MADE PURSUANT THERETO.			

GROSS FLOOR AREA ANALYSIS*			
	FINISH FLOOR	FLOOR AREA INCLUDED IN GFA	FLOOR AREA EXCLUDED FROM GFA
SINGLE STORY RESIDENCE	373.7'	4,872 SF	0 SF
RECREATION ROOM	375.8'	1,627 SF	0 SF
STUDIO (NON-HABITABLE)	373.0'	1,094 SF	0 SF
MECHANICAL ROOM (NON-HABITABLE)	363.0'	42 SF	652 SF
<b>TOTAL AREAS</b>		<b>7,635 SF</b>	<b>652 SF</b>
LOT SIZE		49,145 SF	
<b>FLOOR AREA RATIO</b>		<b>0.16</b>	
<b>ALLOWABLE FAR</b>		<b>0.45</b>	

\* FOR FLOOR AREA ANALYSIS PLANS SEE 2/A0.2 & 3/A0.2  
[ ] TRELLIS ABOVE

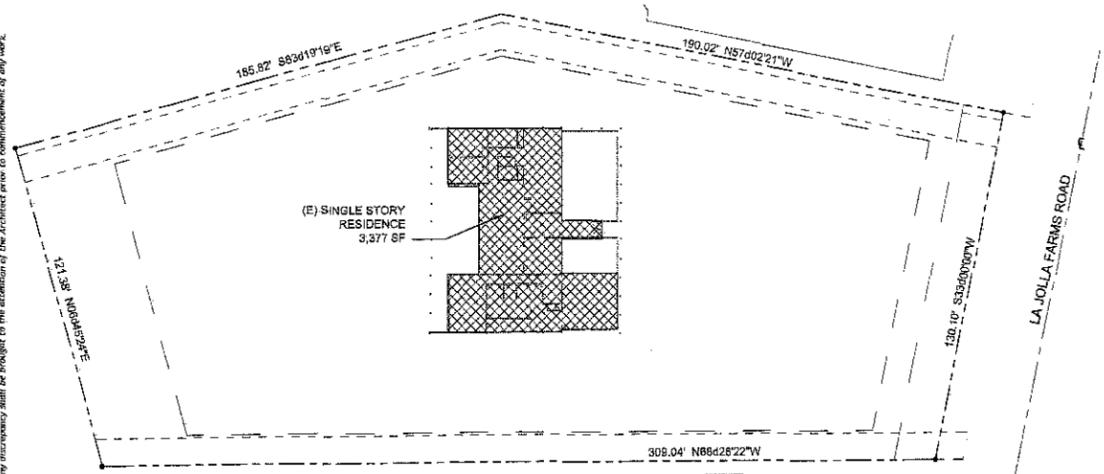
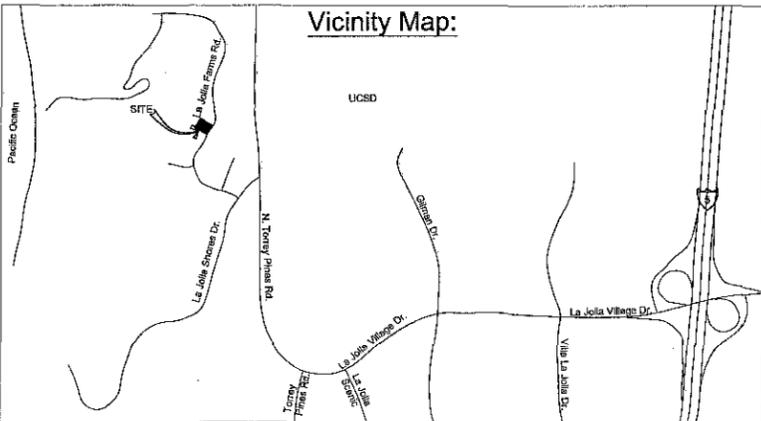
PARKING SPACES REQUIRED CAMPUS PARKING IMPACT OVERLAY		
ROOM	REQUIRED SPACES	**PROVIDED SPACES
MASTER BEDROOM	1	1
BEDROOM-1	1	1
BEDROOM-2	1	1
MEDIA	1	1
REC ROOM-1	1	1
REC ROOM-2	1	1
<b>TOTAL</b>	<b>6</b>	<b>6</b>

\*\* SEE SHEET A1.4 FOR PARKING SPACES PROVIDED ON SITE

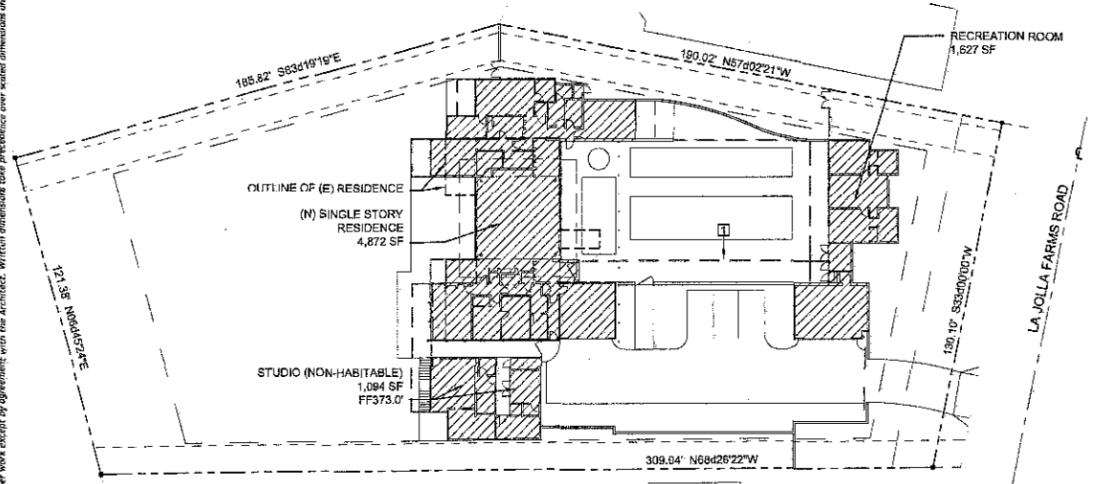
LOT COVERAGE	
	BUILDING FOOTPRINT
SINGLE STORY RESIDENCE	4,872 SF
RECREATION ROOM	1,627 SF
STUDIO (NON-HABITABLE)	1,094 SF
<b>TOTAL BUILDING FOOTPRINT</b>	<b>7,593 SF</b>
LOT SIZE	49,145 SF
<b>LOT COVERAGE</b>	<b>16%</b>

GENERAL PLAN (GP) CONSERVATION ELEMENT  
SUSTAINABLE, CLEAN, GREEN BUILDING & DEVELOPMENT TECHNIQUES AND CONSERVATION EFFORTS:

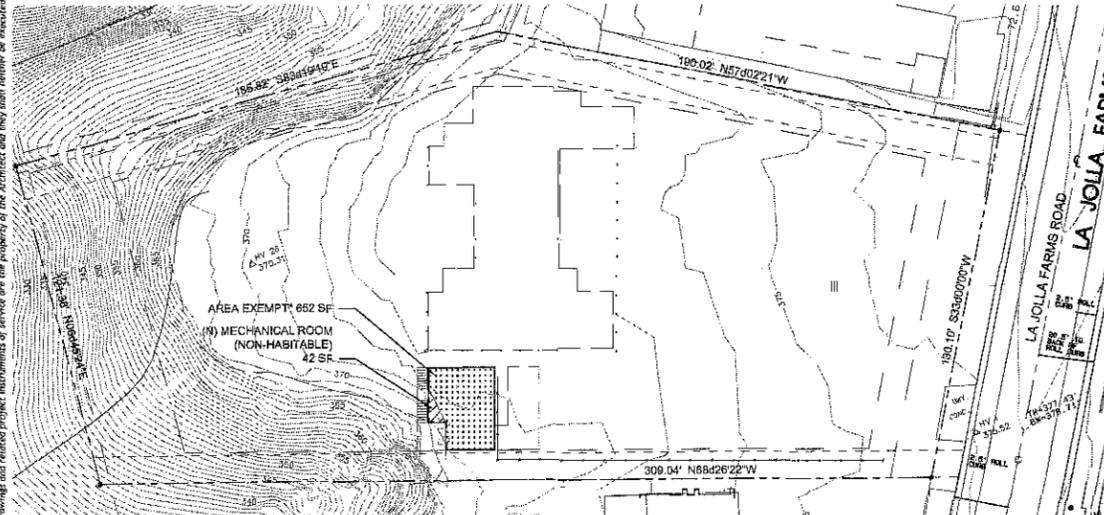
- REDUCE THE URBAN HEAT ISLAND EFFECT BY PLANTING TREES FOR THEIR MANY ENVIRONMENTAL BENEFITS (REF CE-A.2)
- DESIGN MECHANICAL AND ELECTRICAL SYSTEMS THAT WILL ACHIEVE GREATER ENERGY EFFICIENCY, USE SHADING DEVICES, ENERGY EFFICIENT APPLIANCES/LIGHTING (REF CE-A.5)
- ENSURE A HEALTHY INDOOR AIR QUALITY, REDUCE INDOOR CONTAMINANTS (REF CE-A.7)
- REDUCE CONSTRUCTION & DEMOLITION WASTE BY RENOVATING AND ADDING TO AN EXISTING BUILDING (REF CE-A.8)
- WHEN FEASIBLE, WILL USE MATERIALS THAT HAVE RECYCLE CONTENT OR ARE DERIVED FROM SUSTAINABLE OR RAPIDLY RENEWABLE SOURCES (REF CE-A.9)
- PERMANENT, ADEQUATE SPACE FOR REFUSE & RECYCLABLE MATERIAL (REF CE-1.10)
- USE PERVIOUS SURFACES WHEN POSSIBLE, REDUCE LAWN TYPES THAT REQUIRE HIGH LEVELS OF IRRIGATION, USE TREES THAT REQUIRE MINIMAL LEAF BLOWERS (REF CE-A.11)
- MINIMIZE & AVOID IMPACT TO CANYONS & OTHER ENVIRONMENTALLY SENSITIVE LANDS (REF CE-B.1.e)
- PROVIDE A BRUSH MANAGEMENT PLAN (REF CE-B.6)
- MINIMIZE ALTERATIONS OF CLIFFS TO LIMIT DOWNSTREAM EROSION (REF CE-C.3)
- IMPLEMENT BEST MANAGEMENT PRACTICES (BMPs) (REF CE-D.2)
- USE ON SITE INFILTRATION (CE-E.2.a)
- PRESERVE/PLANT TREES & VEGETATION THAT ARE CONSISTENT WITH THE HABITAT (REF CE-F.1)
- USE RENEWABLE ENERGY WHEN FEASIBLE (REF CE-I.10)
- PLANT STREET TREES (CE-J.3)



1 EXISTING FOOTPRINT - FLOOR AREA  
1" = 30' - 0"



2 PROPOSED FOOTPRINT - FLOOR AREA & LOT COVERAGE - MAIN LEVEL  
1" = 30' - 0"



3 PROPOSED FOOTPRINT - FLOOR AREA LOWER LEVEL  
1" = 30' - 0"

\* AREA EXEMPT PER 113.0234(a)(2)(B)  
FF ABV 373.71' - 5' = 368.71'  
EXEMPT AT 268.71'

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**ROBERTS**  
 RESIDENCE

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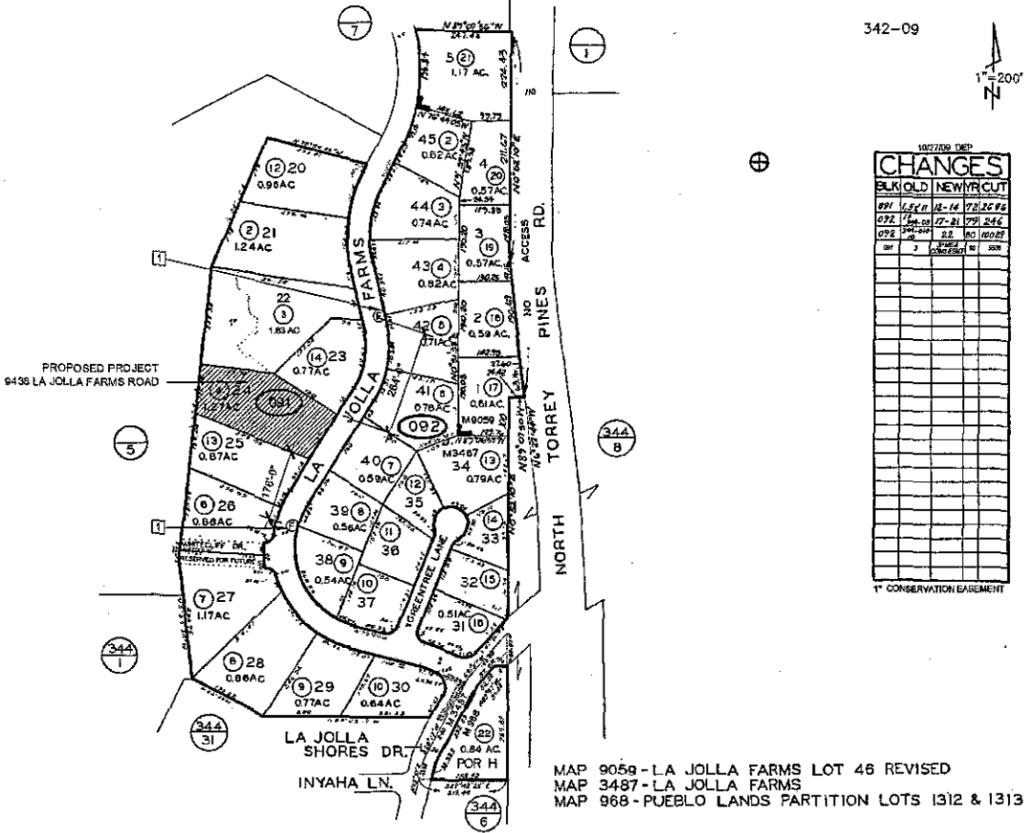
Fire Hydrant  
 Site Plan

**0.4**  
 SHEET 3 OF 27

08

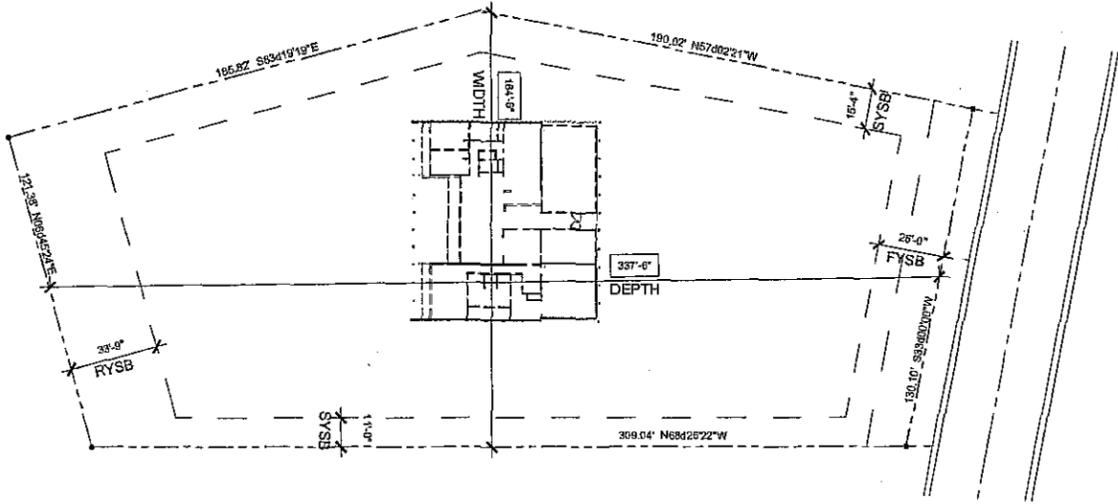
THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSORS PARCELS SHALL NOT BE CONSIDERED VALID UNLESS SUBMITTED WITH CORRECTING DOCUMENTS.

SAN DIEGO COUNTY  
 ASSESSOR'S MAP  
 BOOK 342 PAGE 08



CHANGES	
BLK/OLD	NEW/CUT
099	12-14
092	17-21
092	22-24
092	25-26
092	27-28
092	29-30
092	31

KEY NOTES	
1	FIRE HYDRANT



1 EXISTING FOOTPRINT - SITE DIMENSIONS  
 1" = 30' - 0"

CALCULATIONS	
SIDE - 164.5 x .06 = 13.16' (13'-2")	
(13'-2") x 2 = 26'-4"	
11'-0" + 15'-4" = 26'-4" OK	
PER SDMC FOOTNOTE (2) FOR TABLE 131-04D	
REAR - 337.5 x .10 = 33.75' (33'-9")	
PER SDMC SECTION 131.0443(a)(2)(A)(ii)	
FRONT - 25'	
PER SDMC TABLE 131-04D	

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**ROBERTS**  
 RESIDENCE

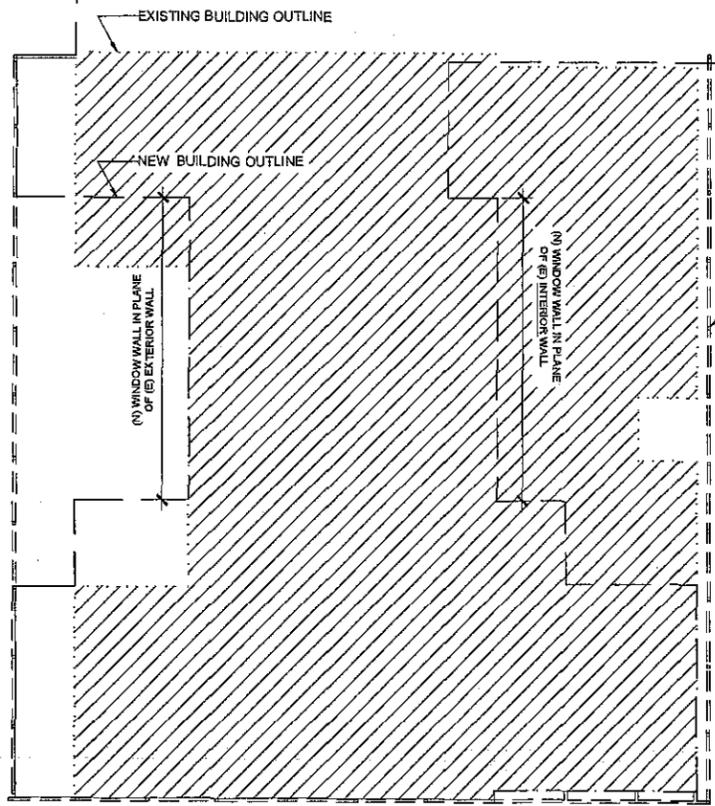
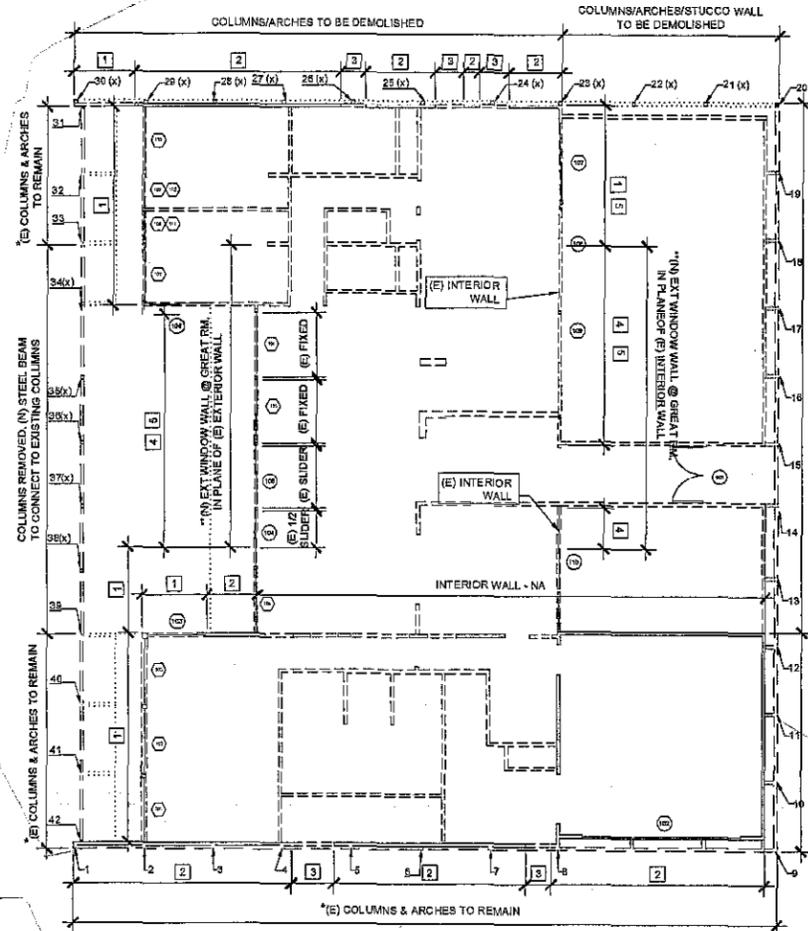
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**Demolition**  
**Floor Plan**

**0.5**  
 SHEET 4 OF 27

NOTE	KEY NOTES	KEY
* WHERE COLUMNS REMAIN - PROTECT (E) COLUMN/ARCHES IN PLACE. PROVIDE TEMPORARY SUPPORT AS NEEDED TO ENSURE STABILITY AT COMPLETION OF WORK. PROVIDE REPAIRS & RECONSTRUCTION OF DETERIORATED MEMBERS & FINISHES. MATCH (E) FINISH.	1 (E) WALL TO BE DEMOLISHED, IF OPENINGS ARE IN WALL, SEE SCHEDULE FOR REPLICATION/RELOCATION/DEMOLITION	===== WALL TO REMAIN
** EXISTING DOORS ARE NOT IN THE SAME LOCATION AS THE NEW GREAT ROOM WALL.	2 (E) TO REMAIN	===== ARCH ABV TO REMAIN
	3 (E) WALL TO REMAIN, (N) OPENING FOR DOOR	----- WALL TO DEMOLISH
	4 (E) WALL, TO BE DEMOLISHED, (N) WALL BUILT IN SAME PLANE	..... ARCH/COLUMN TO DEMOLISH
	5 NOTE TO CONTRACTOR: BEFORE ANY DEMOLITION OR CONSTRUCTION, DOCUMENT THE CONDITION AND LOCATION OF ALL COLUMNS AT THE WINDOW/DOOR GLASS WALL. PROTECT ALL COLUMNS THROUGH CONSTRUCTION.	////// (E) BUILDING FOOTPRINT
	(E) COLUMN TO REMAIN (SEE SHEETS A0.7, A0.8 & A0.9 FOR DETAILS)	
	(N) COLUMN, TO BE DEMOLISHED (PER CITY STAFF'S APPROVAL OF THE CURRENT DESIGN WHICH REQUIRES DEMOLITION OF NOTED COLUMNS)	



EXISTING WINDOW SCHEDULE					
Number	Estimated Size	Remarks (see notes)	(E) Type	(N) Type	
101	6'-8" x 8'-0"	A	Fixed		
102	6'-8" x 8'-0"	A	Fixed		
103	6'-8" x 8'-0"	A	Fixed		
104	6'-2" x 8'-0"	A	Fixed		
105	6'-2" x 8'-0"	B	Fixed	Single Sliding Panel	
106	6'-4" x 8'-0"	B	Fixed	Single Sliding Panel	
107	6'-8" x 8'-0"	A	Fixed		
108	3'-2" x 6'-0"	A	Fixed		
109	3'-2" x 6'-0"	A	Fixed		
110	6'-2" x 8'-0"	A	Fixed		
111	3'-2" x 2'-0"	A	Awning		
112	3'-2" x 2'-0"	A	Awning		

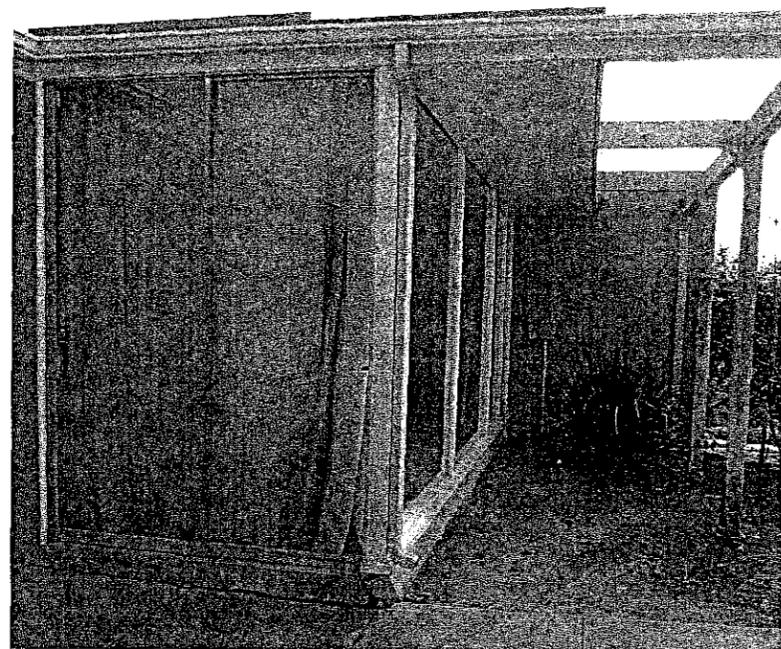
EXISTING DOOR SCHEDULE					
Number	Size	Remarks (see notes)	(E) Type	(N) Type	
101	6'-4" x 8'-0" x 1'-3/4"	A	Solid Wood		
102	15'-7" x 7'-0"	B, C	Garage Door		Garage Door
103	6'-4-3/4" x 6'-0"	A	1/4" Glass Sliding Door		
104	6'-4-3/4" x 6'-0"	C	1/4" Glass Sliding Door		Fixed
105	6'-0" x 8'-0"	E	1/4" Glass Sliding Door		Fixed
106	6'-0" x 8'-0"	A	1/4" Glass Sliding Door		
107	6'-0" x 8'-0"	B	1/4" Glass Sliding Door		Single Sliding Panel
108	6'-0" x 8'-0"	E	1/4" Glass Sliding Door		Fixed
109	6'-0" x 8'-0"	B	1/4" Glass Sliding Door		Single Sliding Panel
110	6'-0" x 8'-0"	A	1/4" Glass Sliding Door		

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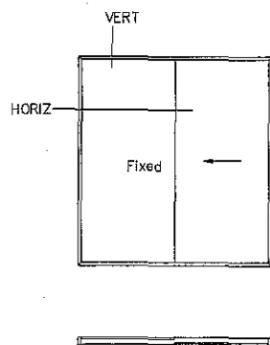
**1 BUILDING DEMOLITION PLAN**  
 1/8" = 1'-0"

**2 EXISTING / NEW BUILDING COMPARISON**  
 1/8" = 1'-0"

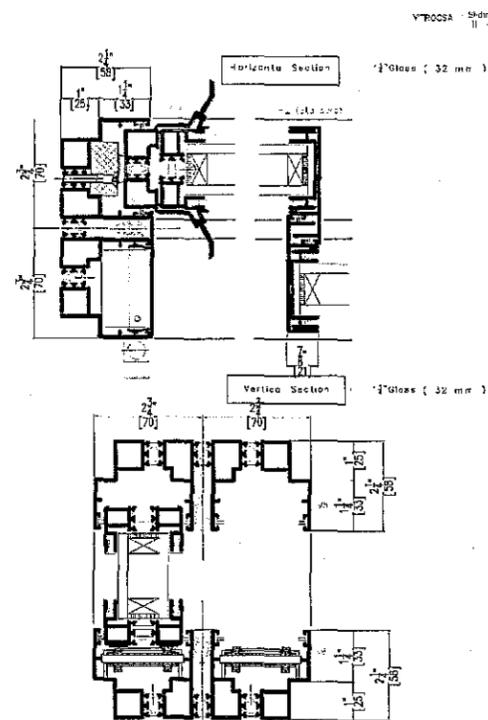
A: Existing (E) to be removed  
 E: Opening to be maintained, replace w/ New (N) sliding panel  
 C: IE: Slider - Remove 1/2" of slider and replace with fixed window to match 1/2" wide  
 D: Reconstruct window panel and garage door as needed to provide a right uniform installation  
 E: Opening to be maintained remove slider and replace with replicated fixed window



1 EXISTING DOOR 103 (TYP ALL SLIDING GLASS DOORS)



2 PROPOSED REPLICATED DOOR -SEE SCHEDULE & PLAN ON A0.5 FOR LOCATION



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Window  
 Photos/Specs

**0.6**  
 SHEET 5 OF 27

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Column  
 Specs/Details

**0.7**  
 SHEET 6 OF 27

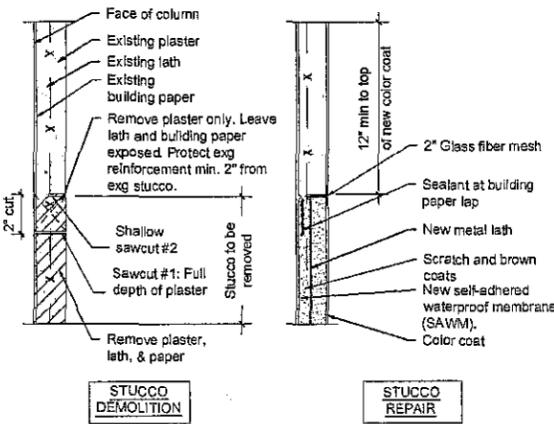
ATTACHMENT 6

0.7 ROBERTS - COLUMN INVENTORY

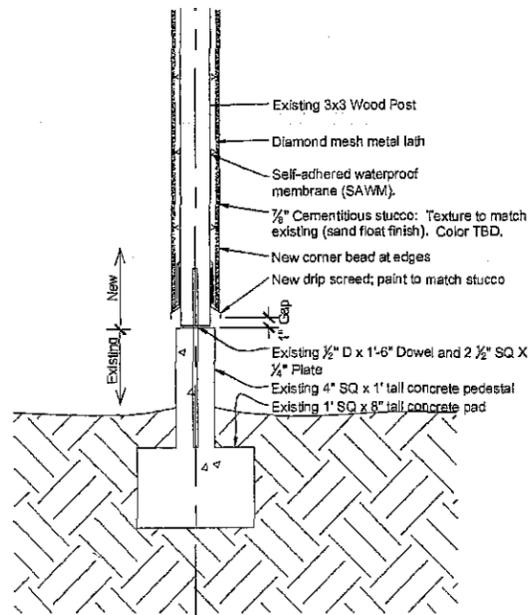
COL #	DEMO	REPAIR STRATEGY (See Sheet 0.6 for details)
1	X	Detail 1 & Detail 4
2	X	Detail 1 & Detail 4
3	X	Replace 3x3 Col; Match to Detail 1 & 4
4	X	Replace 3x3 Col; Match to Detail 1 & 4
5	X	Remove nails, Detail 1 & Detail 4
6	X	Remove nails, Detail 1 & Detail 4
7	X	Remove nails, Detail 1 & Detail 4
8	X	Detail 1 & Detail 4
9	X	Detail 1 & Detail 3. 3x3 may need replacement
10	X	Detail 1 & Detail 3
11	X	Detail 1 & Detail 3
12	X	Detail 1 & Detail 3
13	X	Detail 1 & Detail 3. 3x3 may need replacement
14	X	Detail 1 & Detail 3; also patch stucco at top
15	X	Detail 1 & Detail 3; also patch stucco at top
16	X	Detail 1 & Detail 3; also patch stucco at top
17	X	Detail 1 & Detail 3. 3x3 may need replacement
18	X	Detail 1 & Detail 3
19	X	Detail 1 & Detail 3; also patch stucco at top
20	X	Detail 1 & Detail 3; also patch stucco at top
21	X	
22	X	
23	X	
24	X	
25	X	
26	X	
27	X	
28	X	
29	X	
30	X	
31		X Detail 1 & Detail 5. 1x3 may need replacement.
32		X Detail 1 & Detail 2
33		X Detail 1 & Detail 2
34	X	
35	X	
36	X	
37	X	
38	X	
39		X Detail 1 & Detail 2
40		X Detail 1 & Detail 2
41		X Detail 1 & Detail 2
42		X Detail 1 & Detail 5. 1x3 may need replacement.

**NOTE**

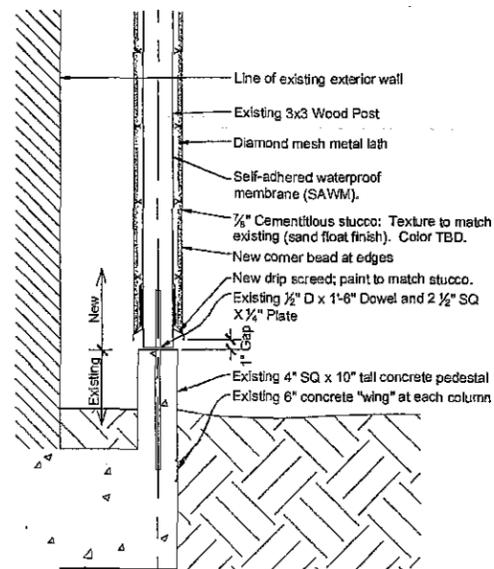
- \* WHERE COLUMNS REMAIN - PROTECT (E) COLUMN/ARCHES IN PLACE. PROVIDE TEMPORARY SUPPORT AS NEEDED TO ENSURE STABILITY AT COMPLETION OF WORK.
- \* PROVIDE REPAIRS & RECONSTRUCTION OF DETERIORATED MEMBERS & FINISHES. MATCH (E) FINISH. GENERAL PROCEDURE IS AS FOLLOWS:
  - DEMOLISH DAMAGED/DETERIORATED STUCCO AS PER DETAIL 1
  - VERIFY EXISTING STRUCTURAL MEMBERS
  - REPAIR/RECONSTRUCT AS SHOWN IN DETAIL 1 (REFER TO SCHEDULE)
  - APPLY NEW CORNER BEAD
  - STUCCO - MATCH TEXTURE TO (E) - FINE TO MEDIUM SAND FLOAT FINISH
  - PAINT - MATCH (E)



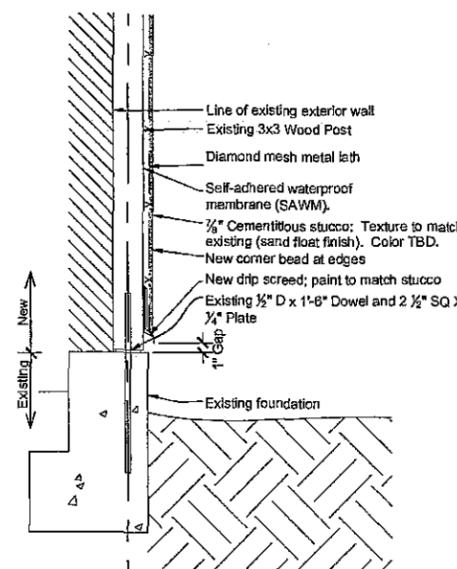
1 STUCCO PATCH DETAIL  
 3" = 1'-0"



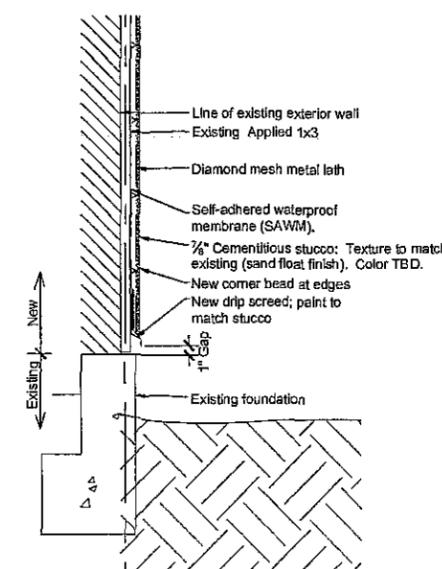
2 COLUMN DETAIL - TYP WEST ELEVATION  
 1 1/2" = 1'-0"



3 COLUMN DETAIL - TYP EAST ELEVATION  
 1 1/2" = 1'-0"



4 APPLIED 3X3 COLUMN DETAIL - TYP SOUTH ELEV  
 1 1/2" = 1'-0"



5 APPLIED 1X3 COLUMN DETAIL - COL 31 & 42  
 1 1/2" = 1'-0"

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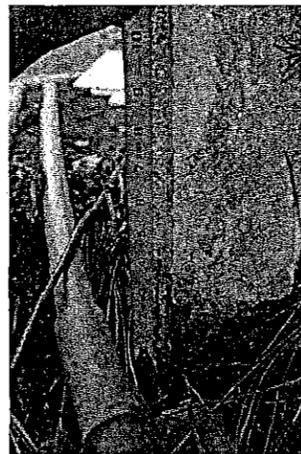
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**Columns 1-12**  
**Existing Photos**

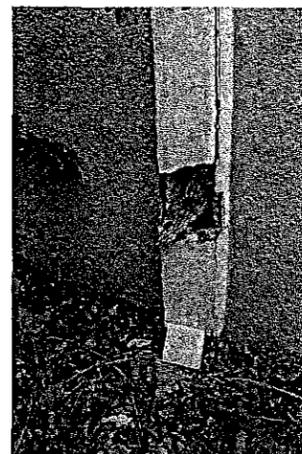
**0.8**  
 SHEET 7 OF 27



COL\_01\_DSC009339.JPG



COL\_02\_DSC00842.JPG



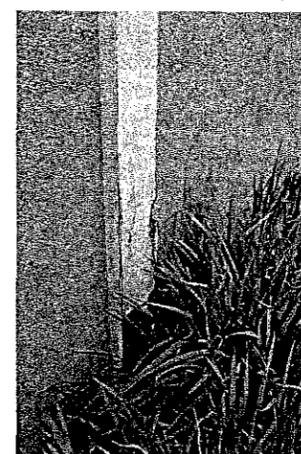
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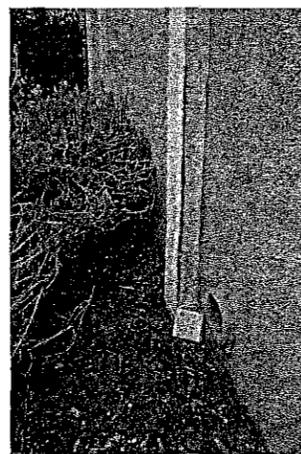
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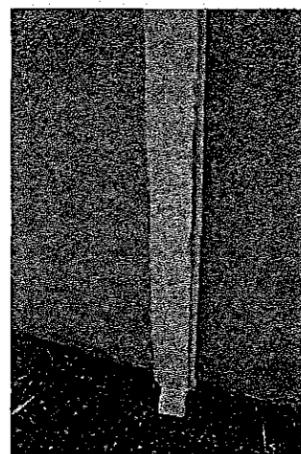
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COL\_04\_DSC00655.JPG



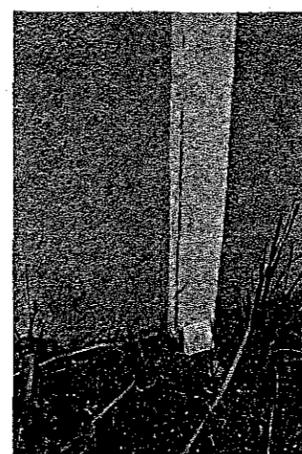
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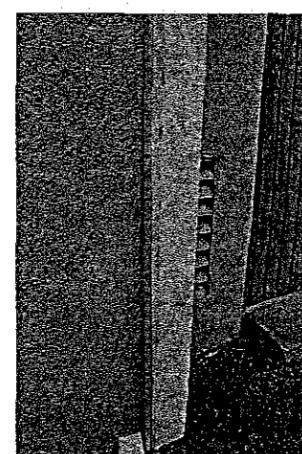
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COL\_06\_DSC00866.JPG



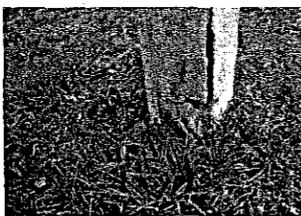
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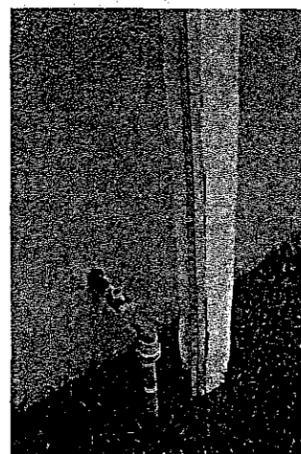
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COL\_08\_DSC00830.JPG



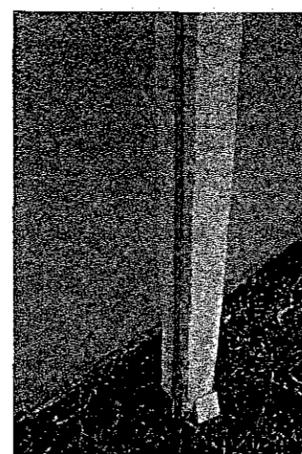
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COL\_10\_DSC00835.JPG



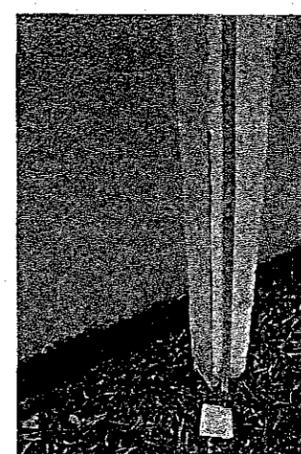
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COL\_11\_DSC00691.JPG



COL\_11\_DSC00904.JPG



COL\_12\_DSC00836.JPG

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### Columns 13-42 Existing Photos

**0.9**  
SHEET 8 OF 27



COL 13\_DSC00660.JPG



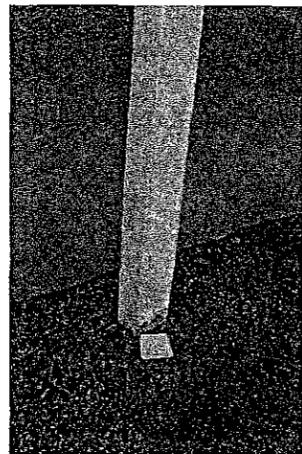
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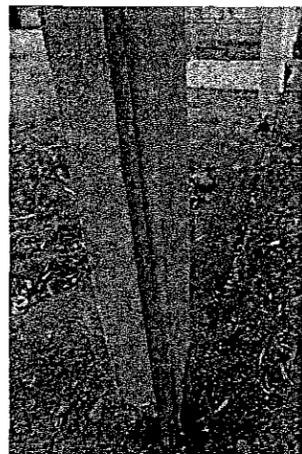
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COL 15\_DSC00911.JPG



COL 16\_DSC00913.JPG



COL 17\_DSC00915.JPG



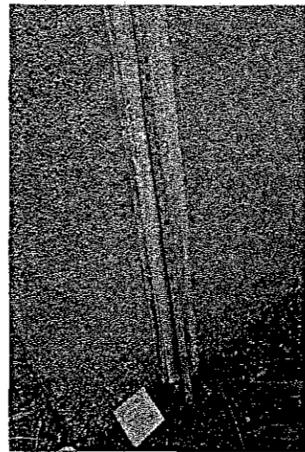
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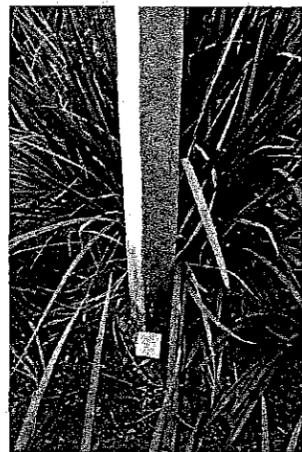
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COL 20\_DSC00929.JPG



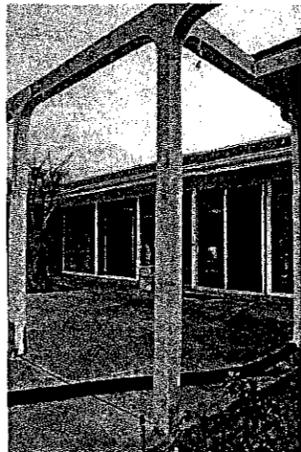
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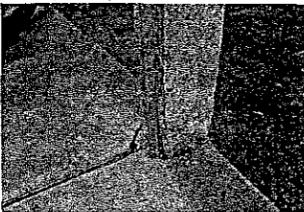
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COL 33\_DSC00965.JPG



COL 35\_DSC00985.JPG



COL 39\_DSC00988.JPG



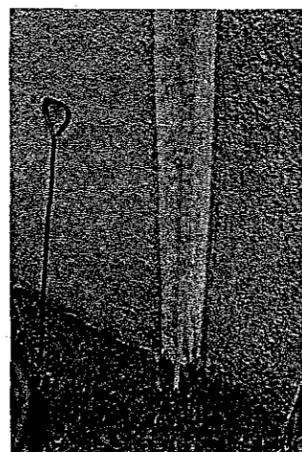
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COL 46\_DSC00992.JPG



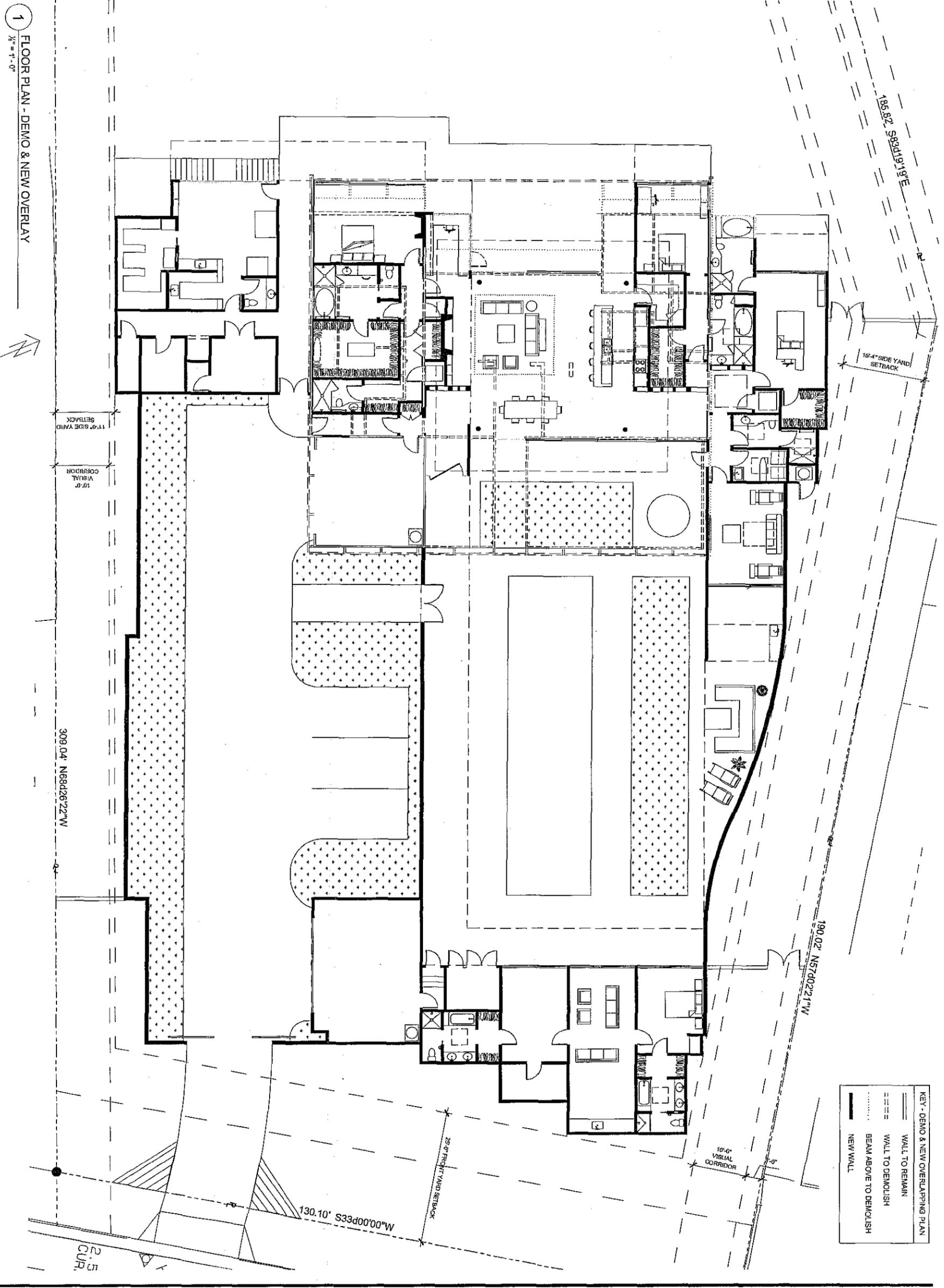
COL 41\_DSC00987.JPG



COL 42\_DSC01006.JPG

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1 FLOOR PLAN - DEMO & NEW OVERLAY  
 1/8" = 1'-0"



KEY - DEMO & NEW OVERLAPPING PLAN	
—	WALL TO REMAIN
---	WALL TO DEMOLISH
---	BEAM ABOVE TO DEMOLISH
—	NEW WALL

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**Demo vs New**  
**Floor Plan**

**1.1**  
 SHEET 9 OF 27

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**New Site Plan**

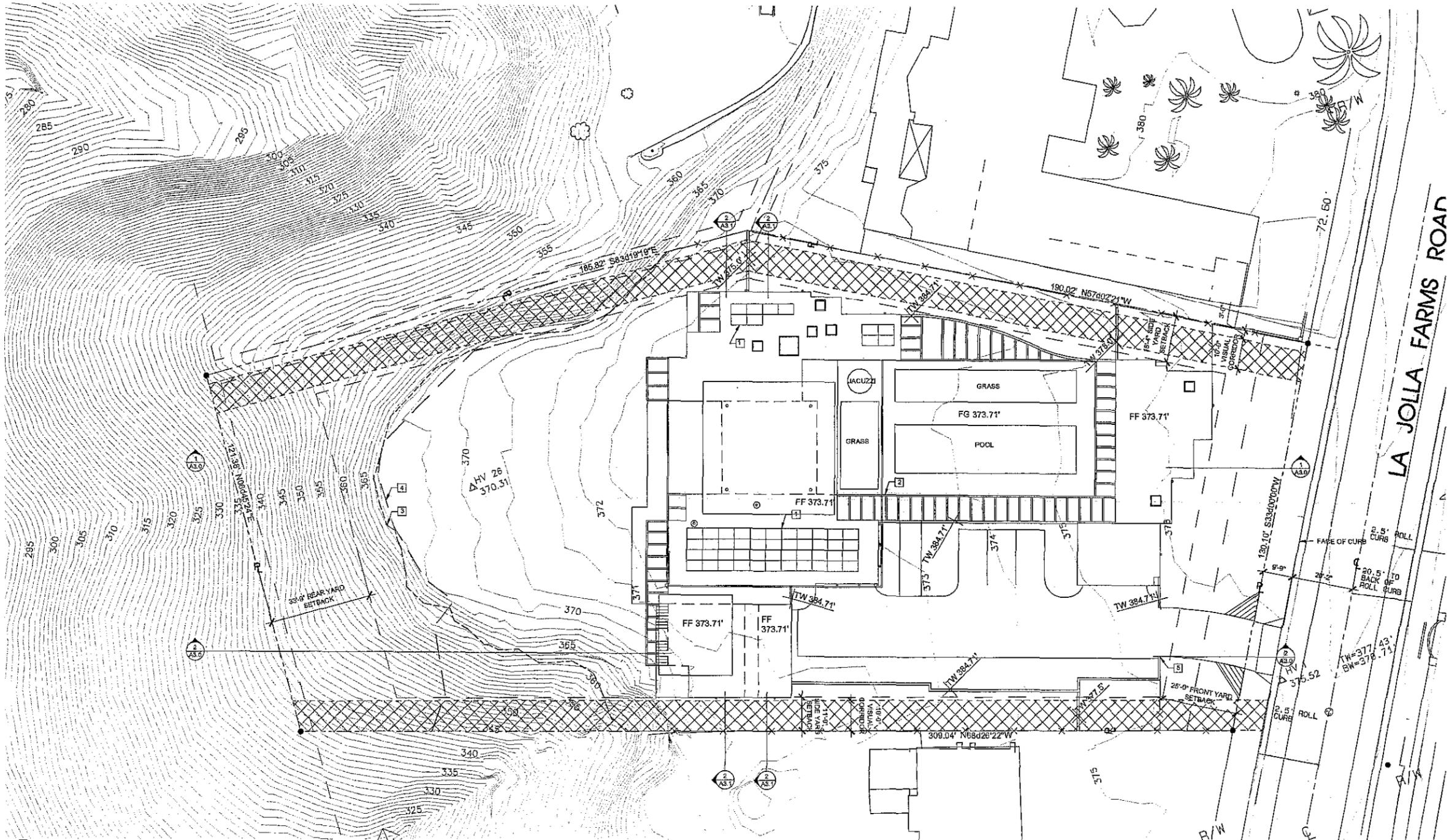
**1.2**  
 SHEET 10 OF 27

**LEGEND**

	VISUAL CORRIDOR, 10' WIDE, ALL WALLS, FENCES, LANDSCAPE & STRUCTURES MUST BE UNDER 3'
	SIGHT VISIBILITY TRIANGLES - NO STRUCTURE, SCRUBS, ETC. TALLER THAN 3' IN HEIGHT SHALL BE LOCATED WITHIN THESE TRIANGLES
	6" MAX HEIGHT FENCE, MIN 75% OF VERTICAL SURFACE AREA OPEN TO LIGHT, WROUGHT IRON OR GLASS

**KEYNOTES**

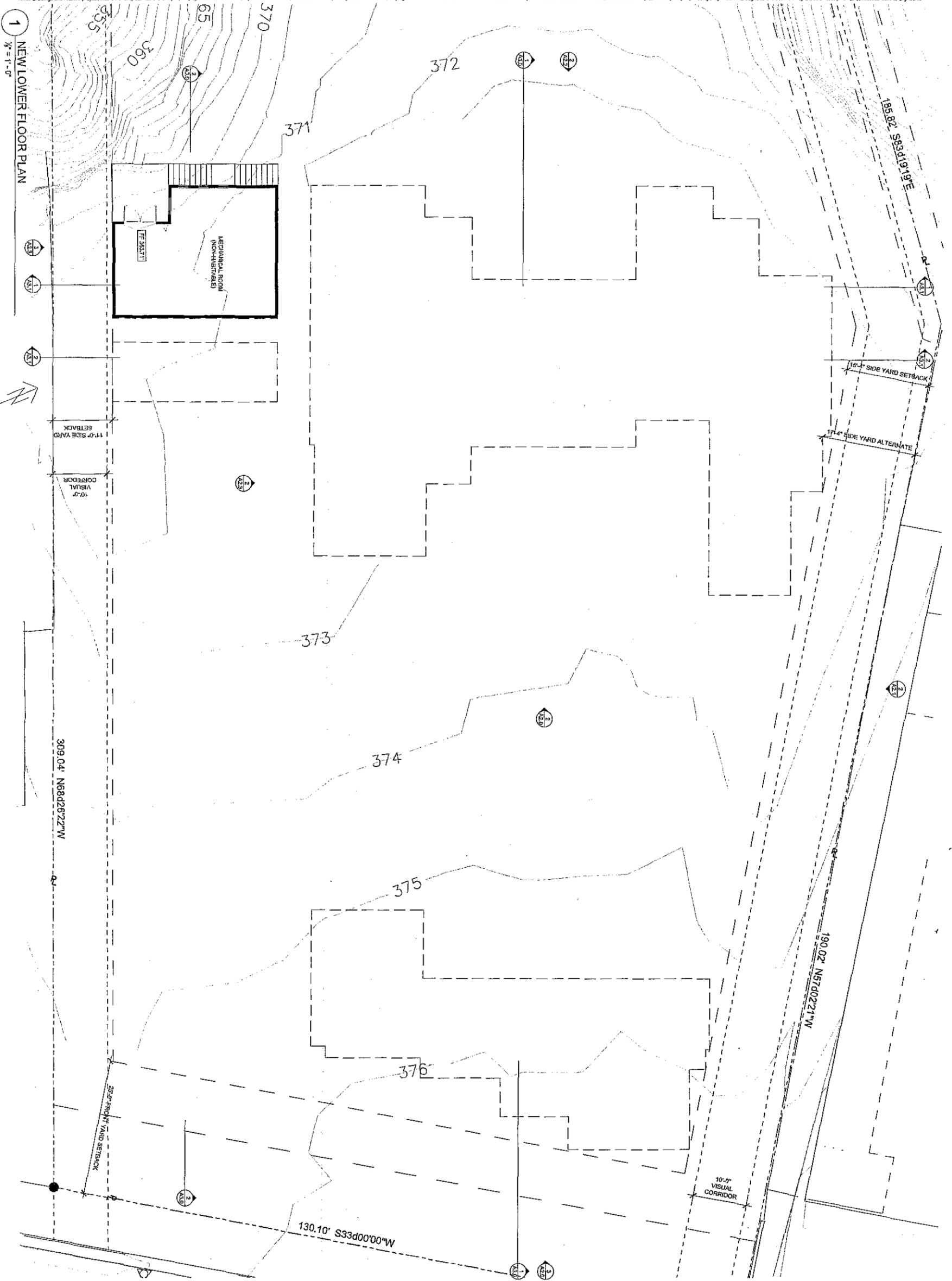
1	SOLAR PANELS (SEE A1.6)
2	TRELLIS
3	LIMITS OF COASTAL SAGE SCRUB
4	LIMITS OF STEEP HILLSIDES, (NOT PREVIOUSLY DISTURBED), SEE GRADING PLANS/CIVIL SHEETS
5	KNOX BOX



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**1 NEW SITE PLAN / NEW DRAINAGE PLAN**  
 1/8" = 1'-0"

**NOTE:**  
 PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)



# Alcorn & Benton

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### ROBERTS RESIDENCE

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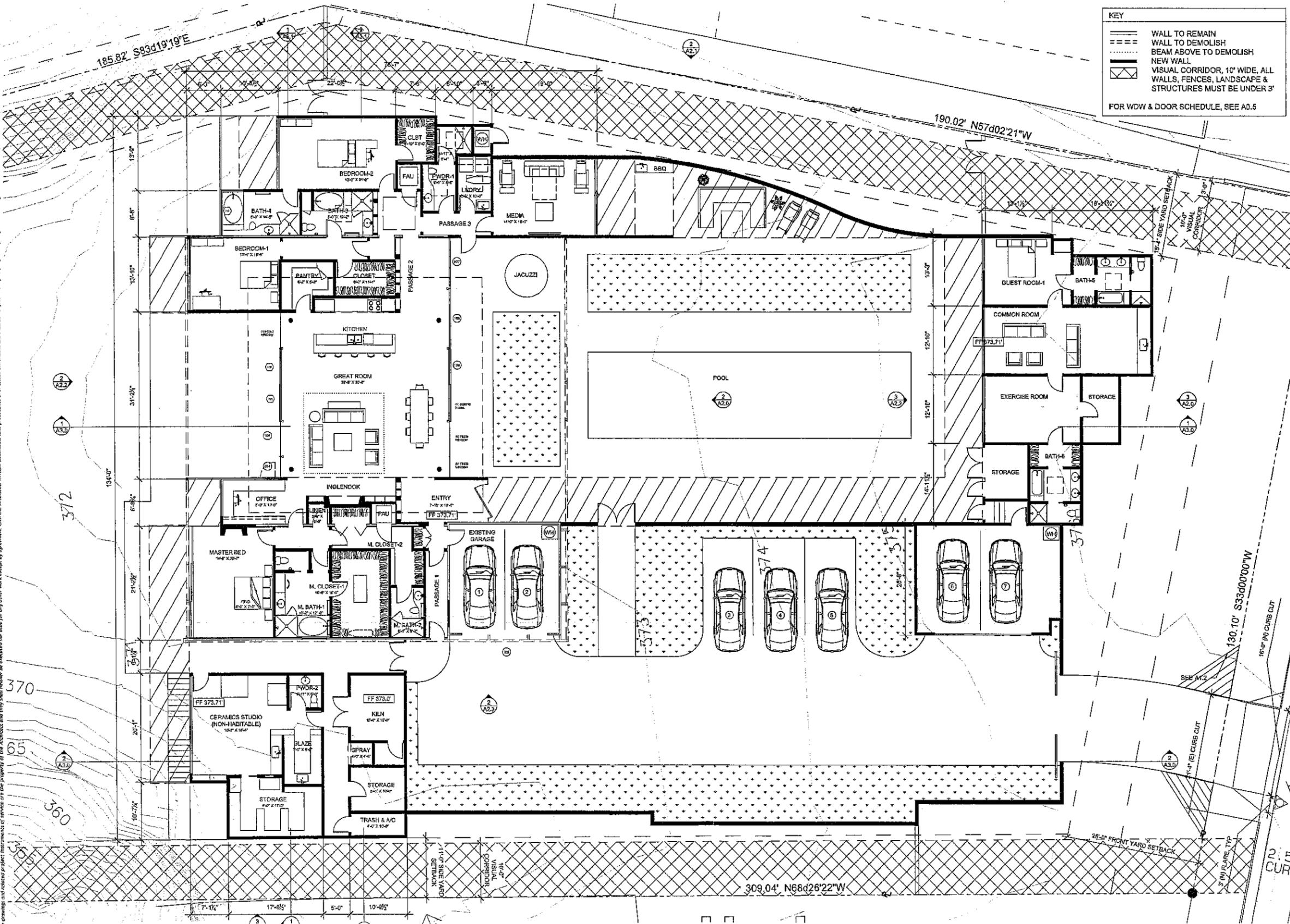
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### New Lower Floor Plan

# 1.3

SHEET 11 OF 27

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**KEY**

- WALL TO REMAIN
- WALL TO DEMOLISH
- BEAM ABOVE TO DEMOLISH
- NEW WALL
- VISUAL CORRIDOR, 10' WIDE, ALL WALLS, FENCES, LANDSCAPE & STRUCTURES MUST BE UNDER 3'

FOR DWG & DOOR SCHEDULE, SEE A0.5

Alcorn & Benton

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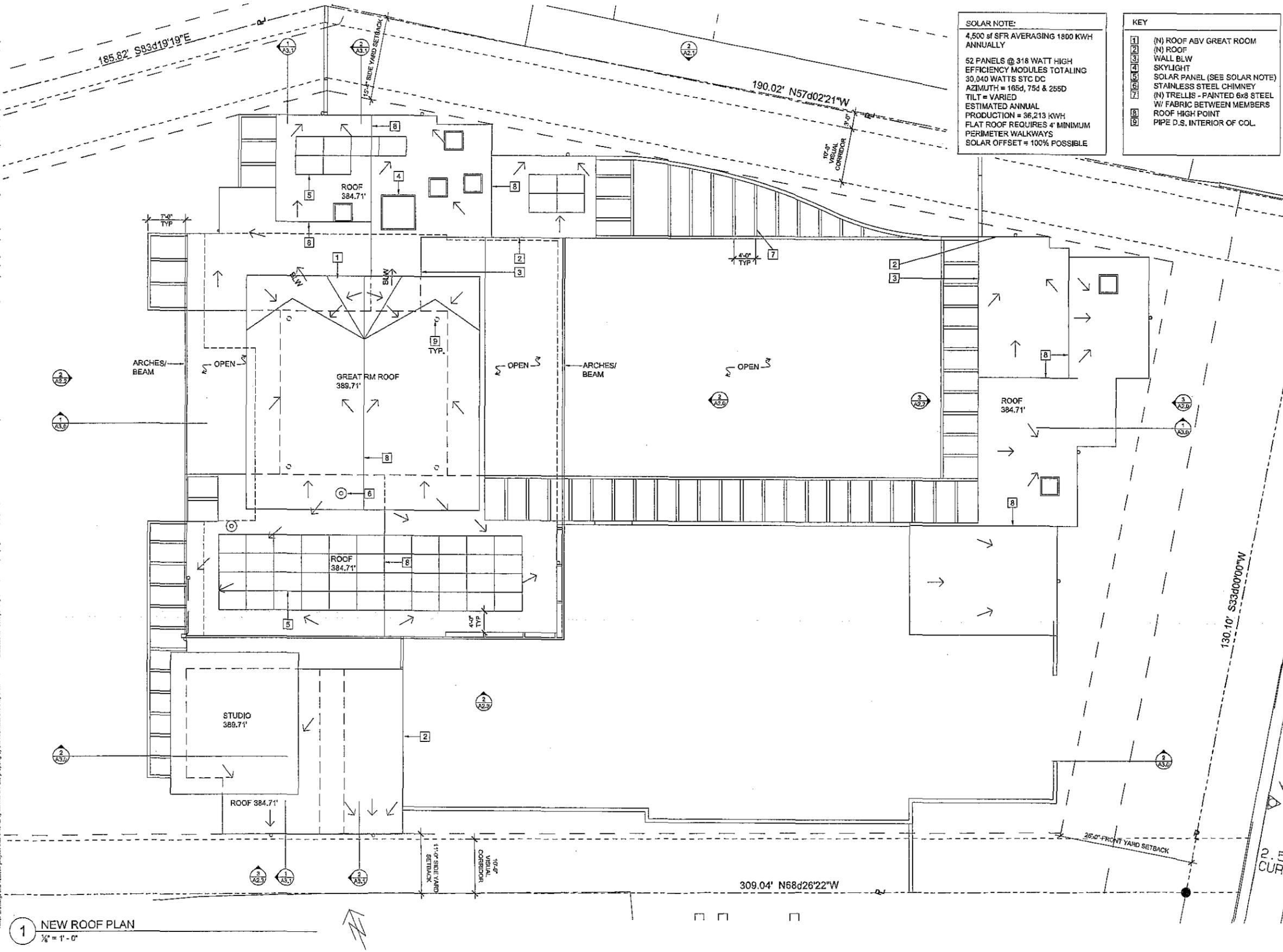
**New  
Floor Plan**

1.4

SHEET 12 OF 27

**1 NEW FLOOR PLAN**  
1/8" = 1'-0"

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**SOLAR NOTE:**  
 4,500 sf SFR AVERAGING 1800 KWH ANNUALLY  
 52 PANELS @ 318 WATT HIGH EFFICIENCY MODULES TOTALING 30,040 WATTS STC DC  
 AZIMUTH = 165d, 75d & 265D  
 TILT = VARIED  
 ESTIMATED ANNUAL PRODUCTION = 36,213 KWH  
 FLAT ROOF REQUIRES 4" MINIMUM PERIMETER WALKWAYS  
 SOLAR OFFSET = 100% POSSIBLE

**KEY**

1	(N) ROOF ABV GREAT ROOM
2	(N) ROOF
3	WALL BLW
4	SKYLIGHT
5	SOLAR PANEL (SEE SOLAR NOTE)
6	STAINLESS STEEL CHIMNEY
7	(N) TRELIS - PAINTED 6x8 STEEL W/ FABRIC BETWEEN MEMBERS
8	ROOF HIGH POINT
9	PIPE D.S. INTERIOR OF COL.

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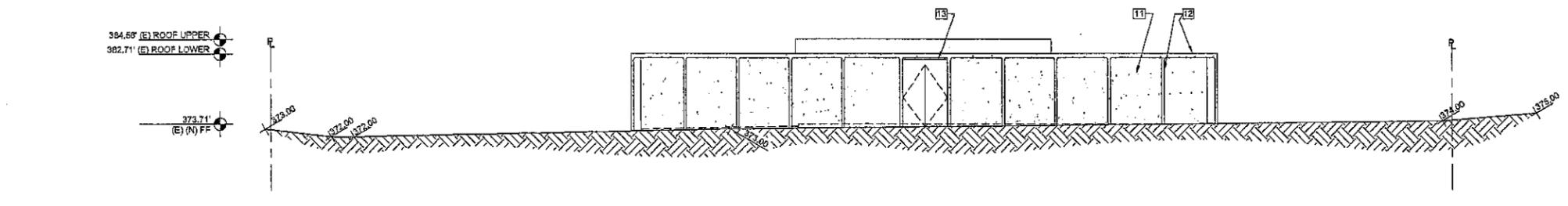
**New Roof Plan**

**1.5**  
 SHEET 13 OF 27

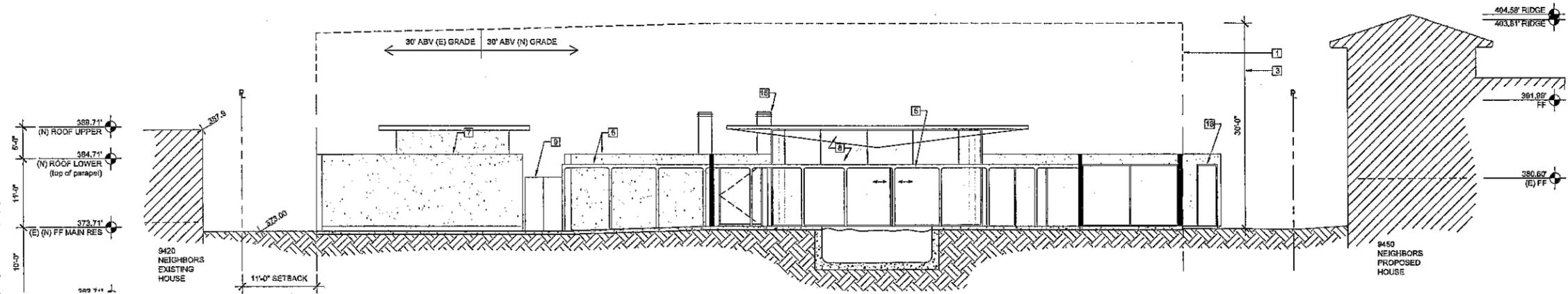
**1 NEW ROOF PLAN**  
 1/8" = 1'-0"

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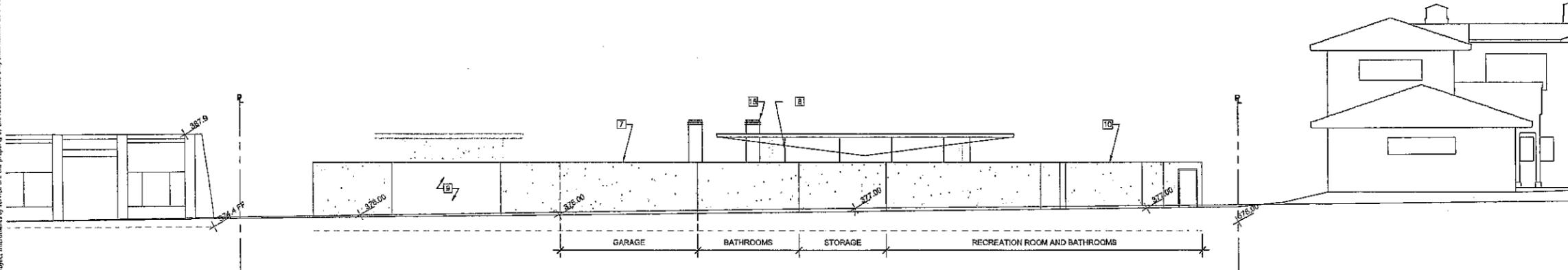
KEYNOTES	
1	LOT GREATER THAN 150', ANGLED BUILDING ENVELOPE NA
2	EXISTING GRADE (LOWER THAN PROPOSED GRADE)
3	30' HEIGHT FROM EXISTING/PROPOSED GRADE (WHICHEVER IS LOWER)
4	OUTLINE OF STUDIO IN FOREGROUND
5	(BEYOND) INDICATION OF EXISTING TOP PLATE - TS 8X8
6	REPAIR (E) PAINTED STUCCO, MATCH (E) STUCCO FINISH(WALL/COLUMNS)
7	(N) STUCCO, MATCH (E) STUCCO FINISH
8	(N) GLASS DOOR/WINDOW, FOR (E) DOORS & WINDOWS TO REMAIN/RECOATED, SEE A0.5, A0.6 & A1.1
9	(N) GARAGE DOOR/GATE - STAINLESS STEEL, PAINTED TO MATCH (E)
10	WALLS BEYOND
11	(E) PAINTED STUCCO WALL
12	(E) PAINTED STUCCO COLUMNS/ARCHES - SEE A0.6 FOR REPAIR/TREATMENT OF DECORATIVE VERT ARCHES
13	(E) PAINTED DOOR
14	(E) GLASS DOOR/WINDOW
15	(N) STAINLESS STEEL CHIMNEY
16	(N) TRELLIS - PAINTED 6X8 STEEL W/ FABRIC BETWEEN MEMBERS
17	(N) PAINTED STEEL BEAM
18	(N) PAINTED DOOR



**1** EXISTING EAST ELEVATION  
1/8" = 1' - 0"



**2a** PROPOSED EAST ELEVATION @ POOL  
1/8" = 1' - 0"



**3** PROPOSED EAST STREET ELEVATION  
1/8" = 1' - 0"

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**ROBERTS**  
RESIDENCE

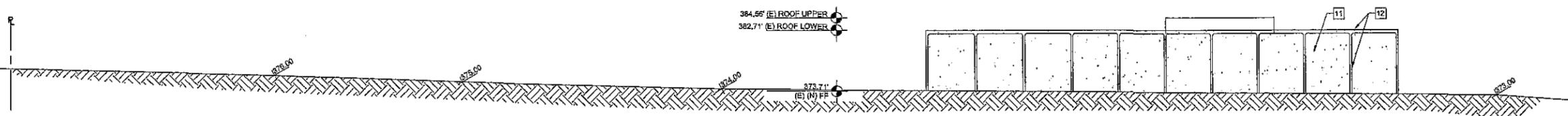
9438 La Jolla Farms Road  
San Diego, California 92037

Project No.	
Design/ Drawing	
Sheet	
Scale	See Drawings
Date	February 19, 2013
Completeness Submittal	September 06, 2012
CDP Submittal - 1	September 26, 2012
CDP Submittal - 2	December 13, 2012
CDP Submittal - 3	January 29, 2013
CDP Submittal - 4	February 20, 2013

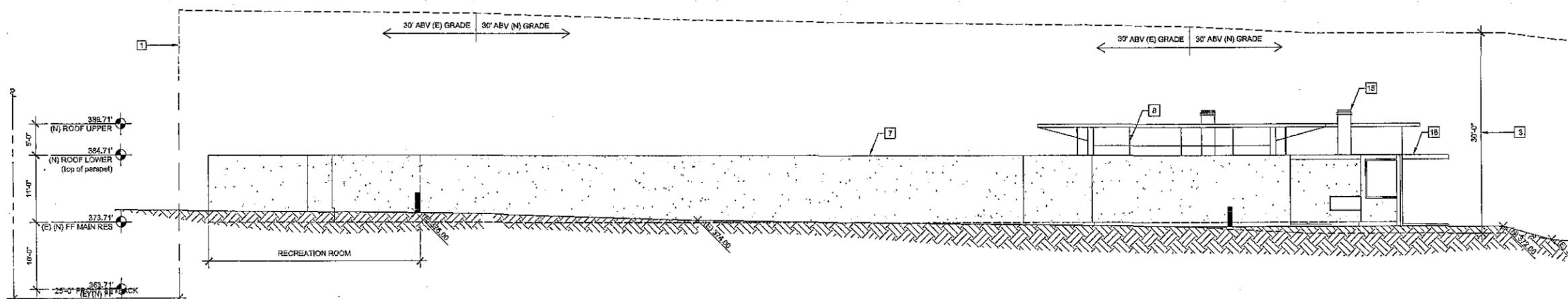
Existing & Proposed  
East Elevations

**2.0**  
SHEET 14 OF 27

KEYNOTES	
1	LOT GREATER THAN 150', ANGLED BUILDING ENVELOPE NA
2	EXISTING GRADE (LOWER THAN PROPOSED GRADE)
3	30' HEIGHT FROM EXISTING/PROPOSED GRADE (WHICHEVER IS LOWER)
4	OUTLINE OF STUDIO IN FOREGROUND
5	(BEYOND) INDICATION OF EXISTING TOP PLATE - TS 8x8
6	REPAIR (E) PAINTED STUCCO, MATCH (E) STUCCO FINISH(WALL/COLUMNS)
7	(N) STUCCO, MATCH (E) STUCCO FINISH
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11	(E) PAINTED STUCCO WALL
12	(E) PAINTED STUCCO COLUMNS/ARCHES - SEE A0.6 FOR REPAIR/TREATMENT OF DECORATIVE VERT ARCHES
13	(E) PAINTED DOOR
14	(E) GLASS DOOR/WINDOW
15	(N) STAINLESS STEEL CHIMNEY
16	(N) TRELLIS - PAINTED 6x8 STEEL W/ FABRIC BETWEEN MEMBERS
17	(N) PAINTED STEEL BEAM
18	(N) PAINTED DOOR



1 EXISTING NORTH ELEVATION  
1/8" = 1' - 0"



2 PROPOSED NORTH ELEVATION  
1/8" = 1' - 0"

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Existing & Proposed  
North Elevations

**2.1**  
SHEET 15 OF 27

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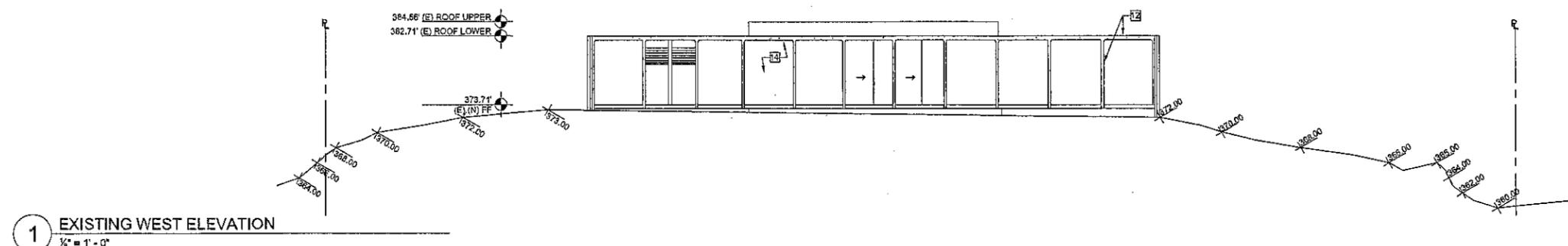
Existing &  
 Proposed  
 West Elevations

**2.2**  
 SHEET 16 OF 27

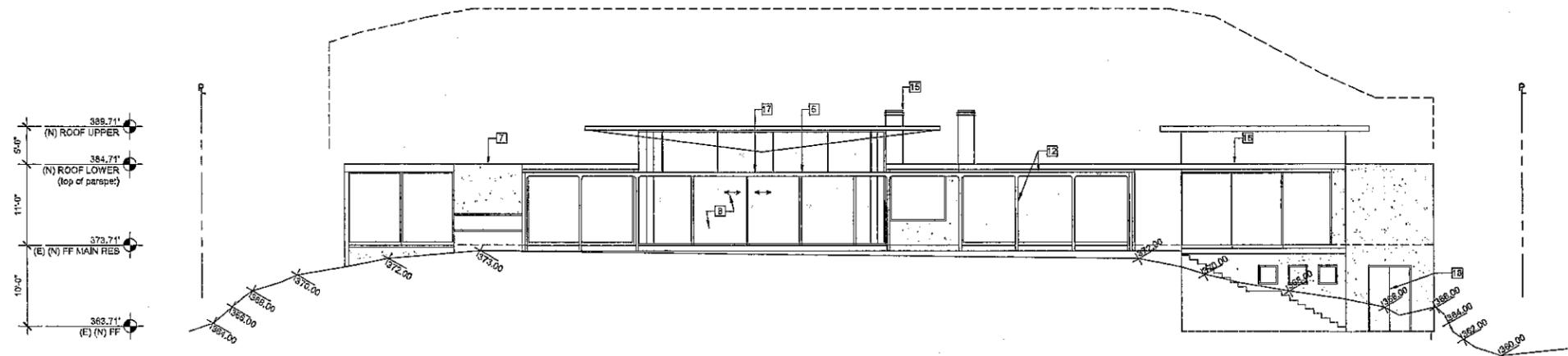
ATTACHMENT 6

**KEYNOTES**

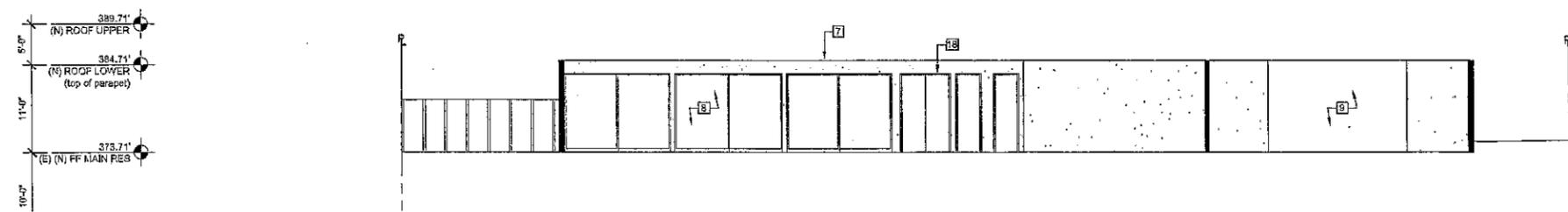
1	LOT GREATER THAN 150', ANGLED BUILDING ENVELOPE NA	10	WALLS BEYOND
2	EXISTING GRADE (LOWER THAN PROPOSED GRADE)	11	(E) PAINTED STUCCO WALL
3	30' HEIGHT FROM EXISTING/PROPOSED GRADE (WHICHEVER IS LOWER)	12	(E) PAINTED STUCCO COLUMNS/ARCHES - SEE A0.6 FOR REPAIR/TREATMENT OF DECORATIVE VERT ARCHES
4	OUTLINE OF STUDIO IN FOREGROUND	13	(E) PAINTED DOOR
5	(BEYOND) INDICATION OF EXISTING TOP PLATE - TS 8x8	14	(E) GLASS DOOR/WINDOW
6	REPAIR (E) PAINTED STUCCO, MATCH (E) STUCCO FINISH/WALL/COLUMNS	15	(N) STAINLESS STEEL CHIMNEY
7	(N) STUCCO, MATCH (E) STUCCO FINISH	16	(N) TRELLIS - PAINTED 6x8 STEEL W/ FABRIC BETWEEN MEMBERS
8	(N) GLASS DOOR/WINDOW, FOR (E) DOORS & WINDOWS TO REMAIN/RECOATED, SEE A0.5, A0.6 & A1.1	17	(N) PAINTED STEEL BEAM
9	(N) GARAGE DOOR/GATE - STAINLESS STEEL, PAINTED TO MATCH (E)	18	(N) PAINTED DOOR



**1** EXISTING WEST ELEVATION  
 1/8" = 1' - 0"



**2A** PROPOSED WEST ELEVATION  
 1/8" = 1' - 0"



**3** PROPOSED WEST ELEVATION  
 1/8" = 1' - 0"

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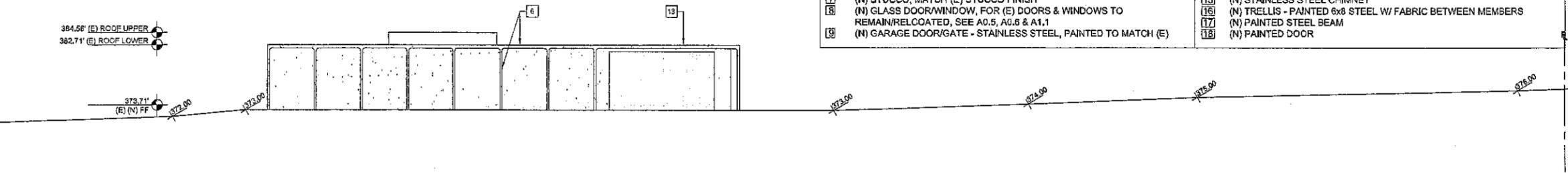
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Existing &  
 Proposed  
 South Elevations

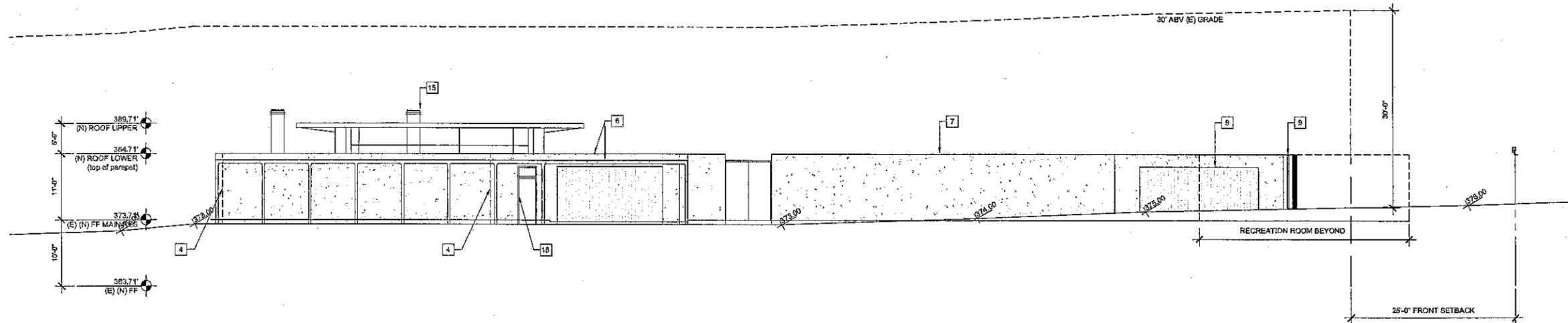
**2.3**  
 SHEET 17 OF 27

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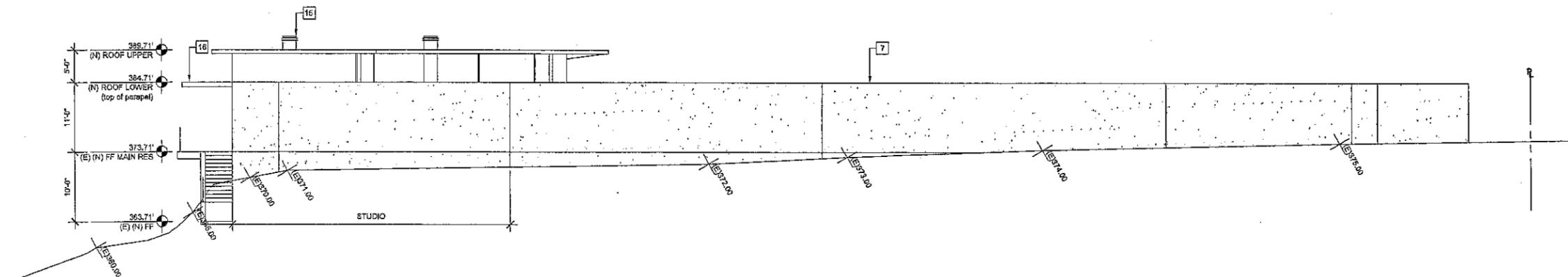
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13	(E) PAINTED DOOR
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15	(N) STAINLESS STEEL CHIMNEY
16	(N) TRELLIS - PAINTED 6x8 STEEL W/ FABRIC BETWEEN MEMBERS
17	(N) PAINTED STEEL BEAM
18	(N) PAINTED DOOR



**1** EXISTING SOUTH ELEVATION  
 1/8" = 1' - 0"



**2** PROPOSED SOUTH ELEVATION THRU DRIVEWAY  
 1/8" = 1' - 0"



**3** PROPOSED SOUTH ELEVATION @ SIDE YARD SET BACK  
 1/8" = 1' - 0"

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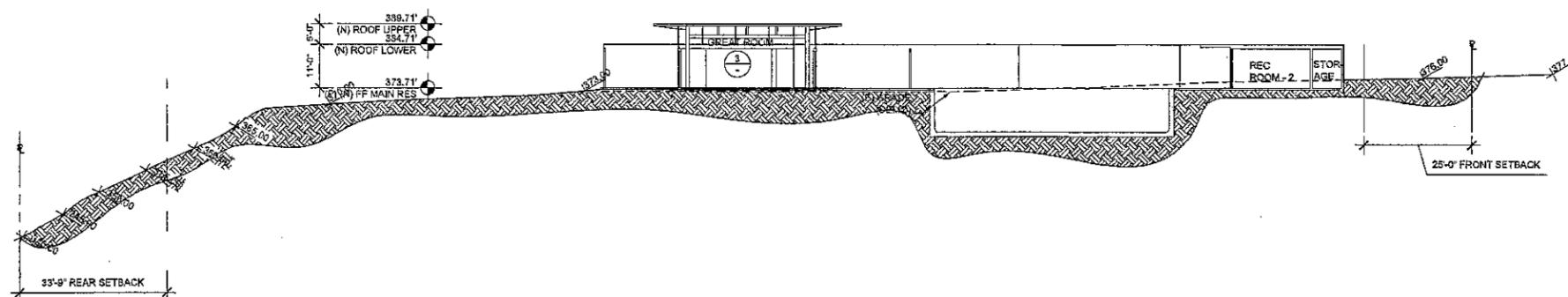
9438 La Jolla Farms Road  
 San Diego, California 92037

Project No. \_\_\_\_\_  
 Design/ Drawing \_\_\_\_\_  
 Sheet \_\_\_\_\_  
 Scale \_\_\_\_\_ See Drawings  
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 Completeness Submittal \_\_\_\_\_ September 06, 2012  
 CDP Submittal - 1 \_\_\_\_\_ September 26, 2012  
 CDP Submittal - 2 \_\_\_\_\_ December 13, 2012  
 CDP Submittal - 3 \_\_\_\_\_ January 29, 2013  
 CDP Submittal - 4 \_\_\_\_\_ February 20, 2013

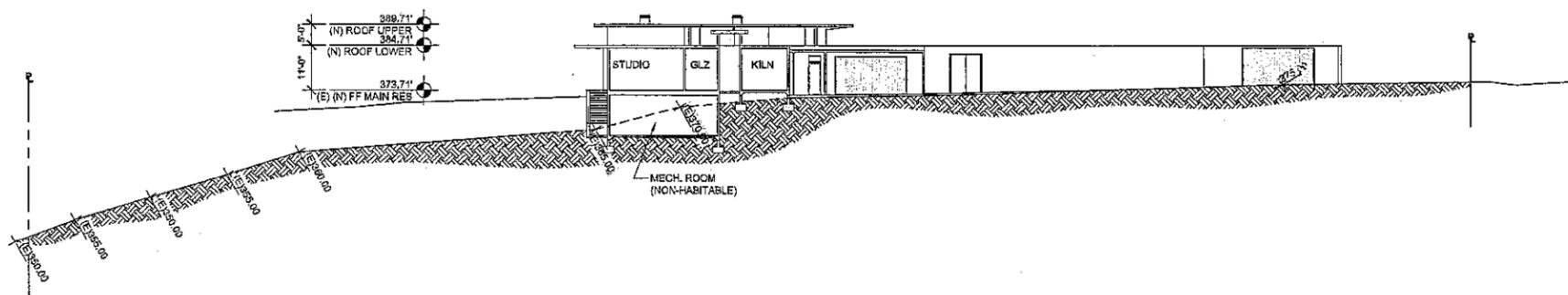
Proposed  
 Building Sections

**3.0**  
 SHEET 18 OF 27

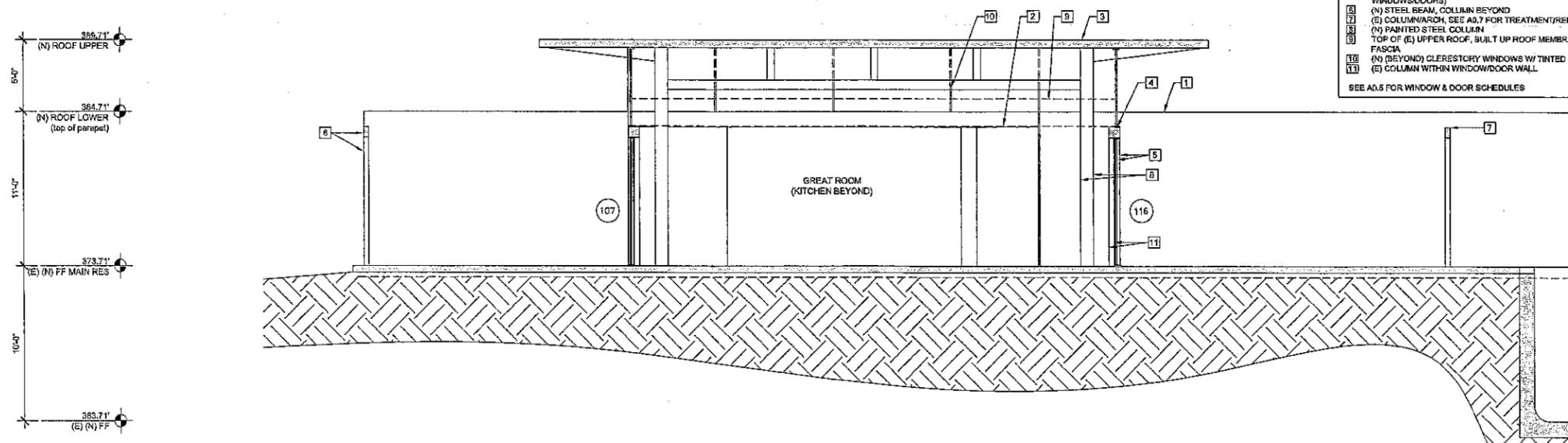
ATTACHMENT 6



**1** PROPOSED SECTION LOOKING NORTH  
 1/8" = 1' - 0"



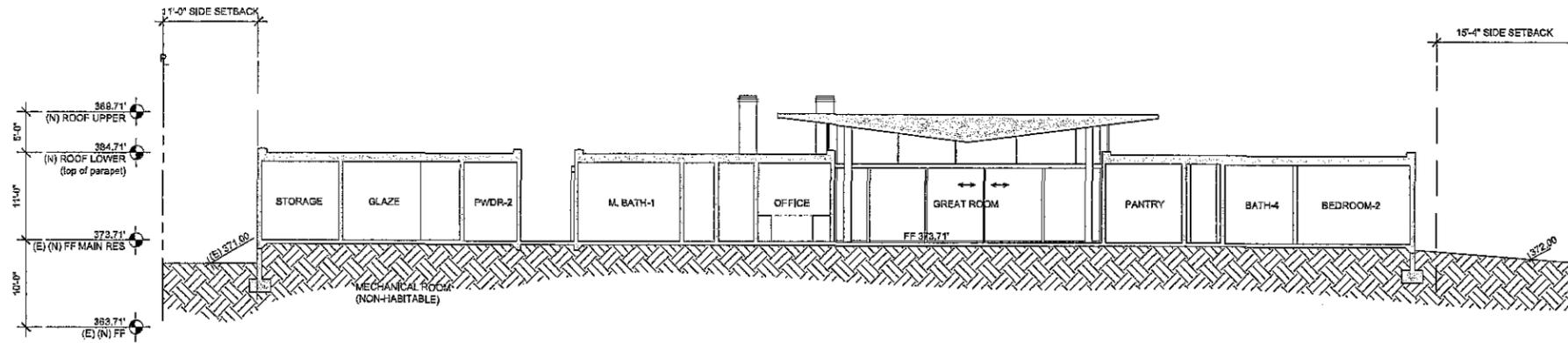
**2** PROPOSED SECTION LOOKING NORTH - THRU THE STUDIO  
 1/8" = 1' - 0"



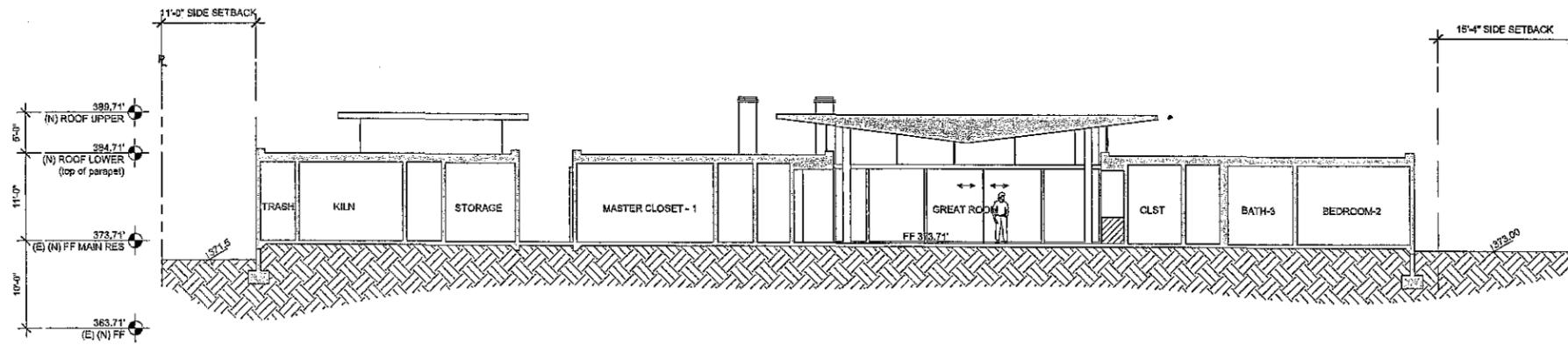
**3** ENLARGED SECTION @ GREAT ROOM - LOOKING NORTH  
 1/2" = 1' - 0"

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**1** PROPOSED SECTION LOOKING WEST - THRU 2- STORY STUDIO  
 1/8" = 1'-0"



**2** PROPOSED SECTION LOOKING WEST  
 1/8" = 1'-0"

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**ROBERTS**  
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Proposed  
 Building Sections

**3.1**  
 SHEET 19 OF 27

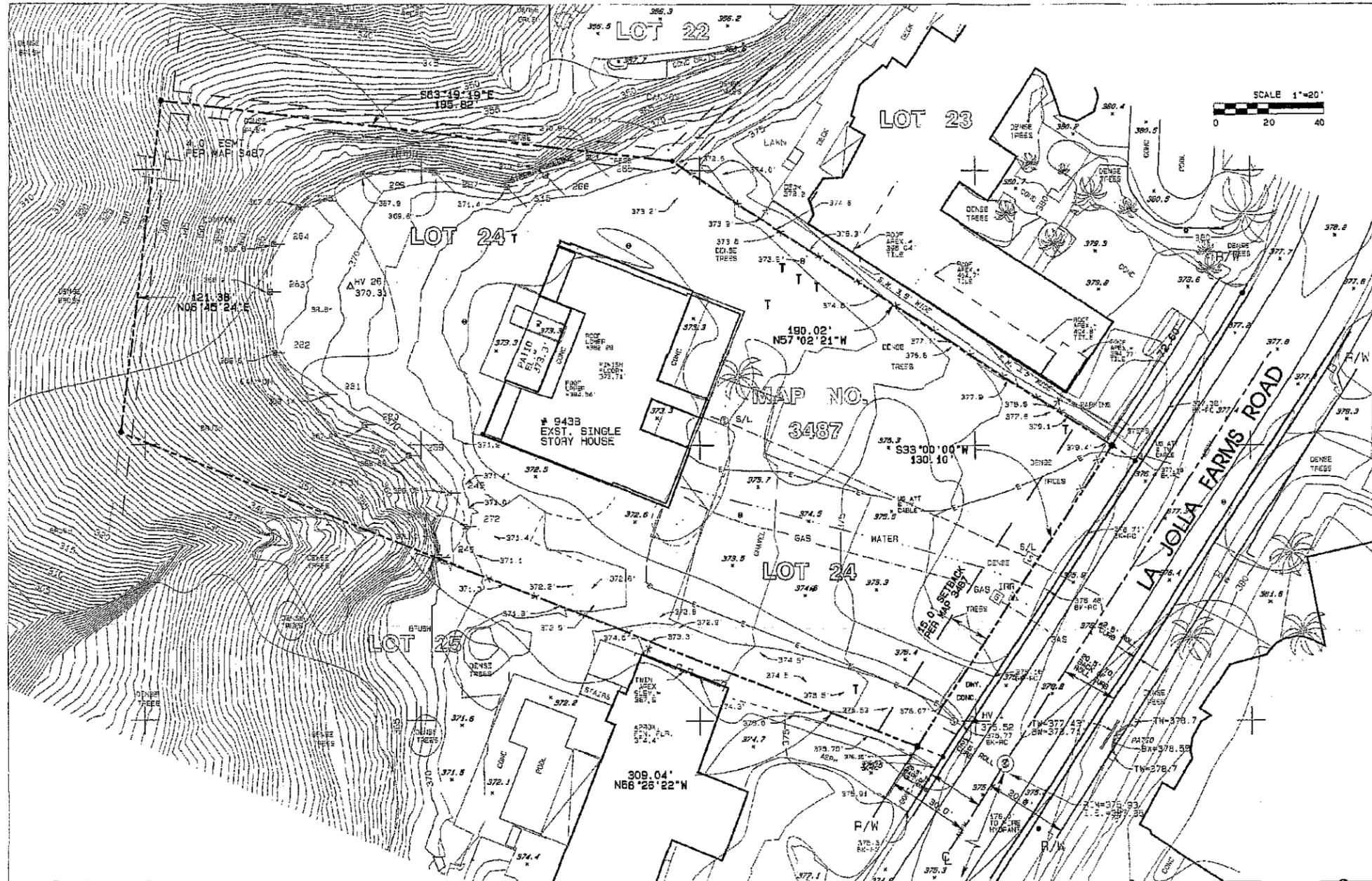
# ROBERTS RESIDENCE TOPOGRAPHIC SURVEY

9438 LA JOLLA FARMS ROAD



## LEGEND

Symbol	Description
	SEWER
	GAS
	IRR.
	MAHOLE
	CATV
	FH
	HUB
	CONTROL
	Symbol 12
	BOUNDARY
	R/W
	CENTER LINE
	FENCE (X) LINE
	WATER SERVICE
	LOTS
	ESMT.
	ELEC. OBE
	SEWER LAT.
	EP
	STRUCTURE
	SEWER LAT.
	CONTOUR
	SET APPROX. TOP OF SLOPE SURVEY MARKER
	TREES



SURVEYOR OF WORK

*Charles R. Beck*  
 OCT. 23, 2012  
 CHARLES R. BECK  
 LS 4863  
 LIC EXPIRATION 9/30/14

**PACIFIC**  
 LAND SURVEYING  
 Civil Engineering - Surveying - Planning  
 2180 Camino del Rio East, San Diego, CA 92108 • 619-271-4518



### BENCH MARK

FOUND SOUTHWEST BRASS PLUG AT THE INTERSECTION OF NORTH TORREY PINES RD. AND LA JOLLA SHORES DRIVE PER THE CITY OF SAN DIEGO VERTICAL CONTROL RECORD.  
 ELEVATION = 404.098 M.S.L.  
 DATUM PER THE U.S.G.S. ADJUSTMENT OF 1970

### PREPARED EXCLUSIVELY FOR:

MS. DIANE ROBERTS  
 9438 LA JOLLA FARMS ROAD  
 LA JOLLA, CA 92037

### GENERAL NOTES

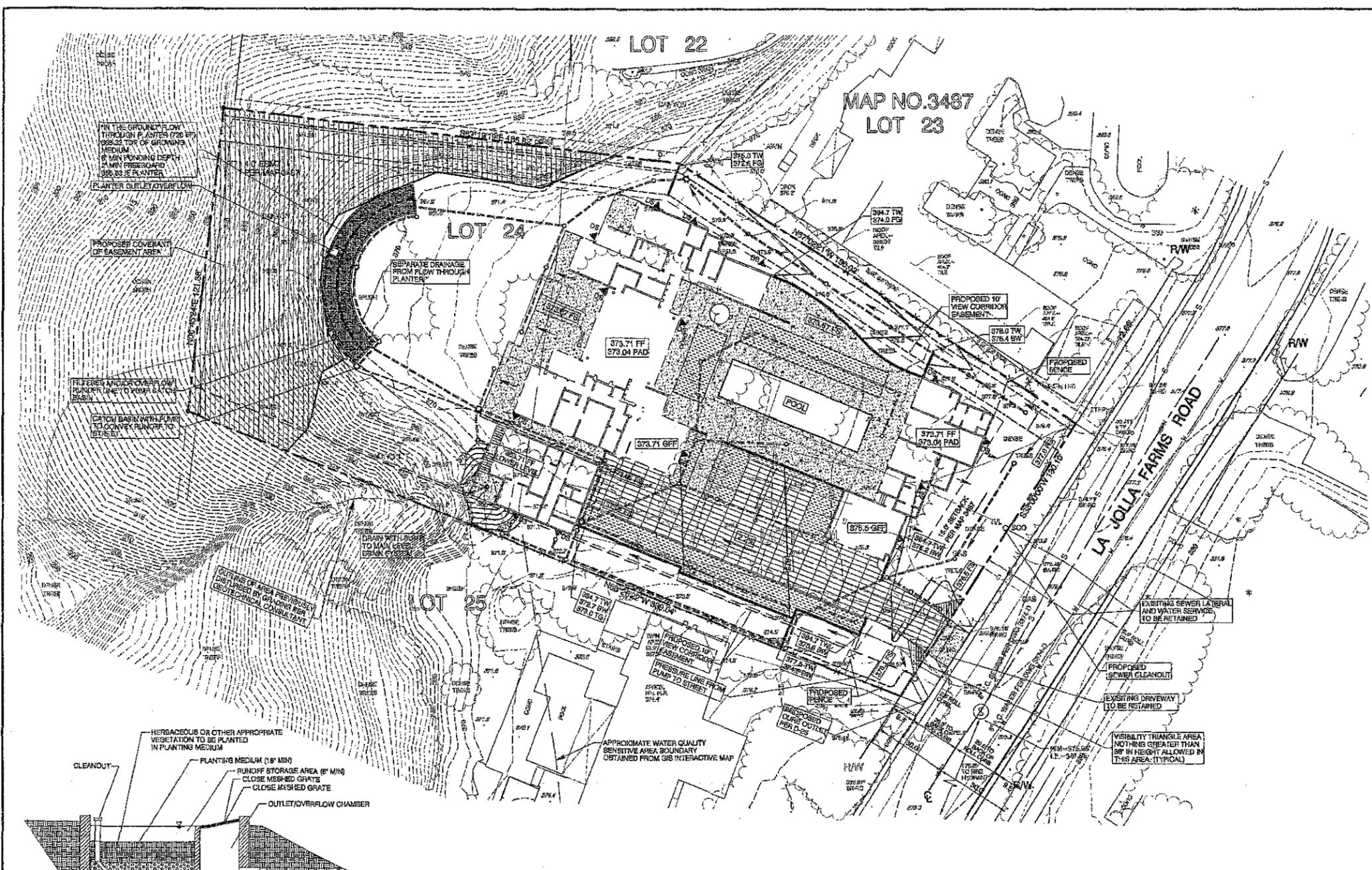
1. A.P. NO. 942-081-04
  2. AREA- 49,146 SQ. FT
- 2012-1023

Survey  
**C-1**  
 SHEET 20 OF 27

COMPLETENESS SUBMITTAL	DATE
CDP SUBMITTAL - 1	9/16/2012
CDP SUBMITTAL - 2	9/26/2012
CDP SUBMITTAL - 3	12/13/2012
CDP SUBMITTAL - 4	1/29/2013
	2/20/2013

SUSTAINABLE BUILDING - EXPEDITE PROGRAM

ATTACHMENT 6



**LEGEND**

PROPERTY LINE	---
EXISTING CONTOUR	~ ~ ~
EXISTING OVERHEAD UTILITY	—E—E—
EXISTING GAS LINE	—G—G—
EXISTING SEWER LINE	—S—S—
EXISTING WATER LINE	—W—W—
EX. SPOT ELEVATION	FR 8' 27.8'
PROPOSED SPOT ELEVATION	27.8 FS
EXISTING RETAINING WALL	—V—V—
PROPOSED SITE WALL	—V—V—
AREA/DECK DRAIN	○
PVC DRAIN	—
CATCH BASIN	□
CONCRETE SURFACE	▒
DIRECTION OF DRAINAGE	→
GROUTED PAVING DRIVEWAY	▒
SEWER CLEANOUT	○ 800
TENTATIVE DOWNSPOUT LOCATION	▲ DS
LIMIT OF WORK LINE	- - -
PROPOSED COVENANT OF EASEMENT	▒
LANDSCAPED AREA	▒
CURB OUTLET PER G-25	○

**NOTE:**

PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE.

PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

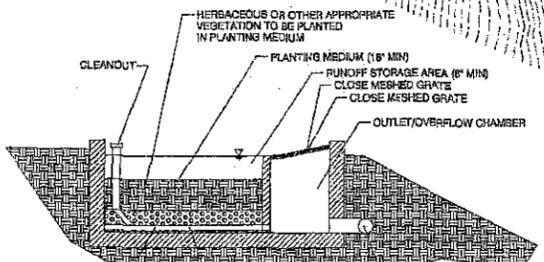
AN EMRA WILL BE REQUIRED FOR PRIVATE CURB OUTLET WITHIN THE RIGHT OF WAY.

NEW CONSTRUCTION RUNOFF WILL BE COLLECTED AND NOT CONVEYED TO WATER QUALITY SENSITIVE AREA. IT WILL BE DISCHARGED INTO PUBLIC STORM DRAIN SYSTEM LOCATED WITHIN LA JOLLA FARMS ROAD. RUNOFF WILL NOT BE DISCHARGED ONTO THE EXISTING HILLSIDE AREA.

RUNOFF WILL BE TREATED BY AN "IN GROUND" FLOW THROUGH PLANTER, BEFORE BEING CONVEYED TO CATCH BASIN AND PUMPED TO THE STREET, AS SHOWN ON THE PLAN AND DETAILED IN THE WQTR.

THE GEOTECHNICAL CONSULTANT HAS OPINED THAT THE SITE IS ESSENTIALLY IMPERVIOUS. IT IS UNSUITABLE TO ACCEPT STORM WATER FOR INFILTRATION OR FOR PERCOLATION. RUNOFF IS TO BE CONVEYED TO A CENTRAL SUMP AND PUMPED TO THE STREET. THE CONSULTANT, IN LETTER DATED JANUARY 22, 2010 HAS INDICATED THAT THE SITE SURFACE WATER WILL "NOT PENETRATE INTO THE GROUND."

SINCE THE SITE IS CHARACTERIZED BY THE GEOTECHNICAL CONSULTANT AS "ESSENTIALLY IMPERVIOUS" THERE IS NO INCREASE IN IMPERVIOUS AREA AS A RESULT OF THIS DEVELOPMENT AND IS THEREFORE EXEMPT FROM HMP REQUIREMENTS (NODE 3 AND NODE 4 OF FIGURE 4-1 OF CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL).



**"IN GROUND" FLOW THROUGH PLANTER SECTION AT OVERFLOW**  
NOT TO SCALE

**LEGAL DESCRIPTION**

LOT 24, LA JOLLA FARMS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3487, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 9, 1968.

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE EAST LINE OF LOT 24 OF MAP NO. 3487, I.E. NORTH 32°30'00" EAST.

**APN / ADDRESS**

ASSESSOR'S PARCEL NUMBER: 042-591-04-06  
ADDRESS: 8438 LA JOLLA FARMS ROAD, LA JOLLA, CA 92037

**NOTES**

1. THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS SURVEY BY PACIFIC LAND SURVEYING, 2180 GARNET, SUITE 300, SAN DIEGO, CA 92109, 628-8770-4818 AND IS DATED MAY 22, 2012, REVISED OCTOBER 2012.
2. THE SUBJECT PROPERTY IS SERVED BY CITY OF SAN DIEGO SANITARY SEWER LATERAL AND WATER SERVICE, WHICH ARE TO BE RETAINED.
3. EXISTING EASEMENTS ARE AS SHOWN.
4. BENCHMARK: CITY OF SAN DIEGO BRASS PLUS AT THE SOUTH-WEST CORNER OF THE INTERSECTION OF NORTH TORREY PINES ROAD AND LA JOLLA SHORE DRIVE. ELEVATION = 404.098 M.S.L. (N.G.V.D. 1929)

**GRADING DATA**

AREA OF SITE - 48,146 S.F.  
AREA OF SITE TO BE GRADED - 30,400 S.F.  
PERCENT OF SITE TO BE GRADED - 61.9%  
AMOUNT OF SITE WITH 2% SLOPES OR GREATER: AREA - 11,804 S.F.  
PERCENT OF TOTAL SITE - 24.5%  
AMOUNT OF SITE WITH SLOPES THAT ARE SUBJECT TO ESH REGS (LJO SEC. 142.0110): 8,729 S.F.  
PERCENT OF TOTAL SITE: 17.9%  
(PREVIOUSLY UNDISTURBED SLOPES GREATER THAN 2%)

AMOUNT OF CUT - 780 C.Y.  
AMOUNT OF FILL - 230 C.Y.  
AMOUNT OF EXPORT - 230 C.Y.  
MAXIMUM HEIGHT OF FILL - 1' VERTICAL FILL (PA10)  
MAXIMUM FILL SLOPE RATIO 2:1  
MAXIMUM FILL SLOPE HEIGHT: NONE

MAXIMUM HEIGHT OF CUT 6' VERTICAL (STUDIO)  
MAXIMUM HEIGHT OF CUT SLOPE - 7'  
MAXIMUM CUT SLOPE RATIO - 2:1

EARTHWORK IS APPROXIMATE AND DOES NOT INCLUDE POOL EXCAVATION ESTIMATED AT 190 CY

LENGTH OF SITE RETAINING WALL - 79'  
MAX HEIGHT OF SITE RETAINING WALL - 2' MAX. RETAINED SOIL

ANTHONY K. CHRISTENSEN  
RCE 64021  
EXP. 12-31-13

FEBRUARY 19, 2011



Prepared By:  
CHRISTENSEN ENGINEERING & SURVEYING  
7886 SILVERTON AVENUE, SUITE 107  
SAN DIEGO, CA 92126  
PHONE (619) 271-9501 FAX (619) 271-8912

Project Address:  
8438 LA JOLLA FARMS ROAD  
LA JOLLA, CA 92037

Project Name:  
ROBERTS RESIDENCE

- Revision 5:
- Revision 4:
- Revision 3:
- Revision 2: 02-19-13 ADD FENCE
- Revision 1: 01-28-13 ADDRESS CITY COMMENTS, ADD BUILDING STORAGE AREA, REVISE DRAINAGE AND LID BMP

Sheet Title: Preliminary Grading Plan  
Original Date: OCTOBER 21, 2011  
SHEET 21 of 27 sheets

**PRELIMINARY GRADING PLAN**

**C-2**

**LEGAL DESCRIPTION**

LOT 24, LA JOLLA FARMS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3487, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 8, 1999.

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE EAST LINE OF LOT 24 OF MAP NO. 3407, I.E. NORTH 83°00'00" EAST.

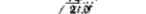
**APN / ADDRESS**

ASSESSOR'S PARCEL NUMBER: 042-091-04-00  
 ADDRESS: 9426 LA JOLLA FARMS ROAD  
 LA JOLLA, CA 92037

**NOTES**

1. THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS SURVEY BY PACIFIC LAND SURVEYING, 2180 GARNETT, SUITE 300, SAN DIEGO, CA 92109, 658-270-4818 AND IS DATED MAY 22, 2012, REVISED OCTOBER 2012.
2. THE SUBJECT PROPERTY IS SERVED BY CITY OF SAN DIEGO SANITARY SEWER LATERAL AND WATER SERVICE, WHICH ARE TO BE RETAINED.
3. EXISTING EASEMENTS ARE AS SHOWN.
4. BENCHMARK: CITY OF SAN DIEGO BRASS PLUG AT THE SOUTH/WEST CORNER OF THE INTERSECTION OF NORTH TORREY PINES ROAD AND LA JOLLA SHORE DRIVE. ELEVATION = 424.686 M.S.L. (N.G.V.D. 1988)

**LEGEND**

- PROPERTY LINE 
- EXISTING CONTOUR 
- EXISTING GAS LINE 
- EXISTING SEWER LINE 
- EXISTING WATER LINE 
- EX. SPOT ELEVATION 

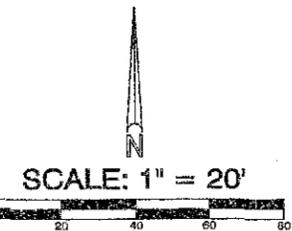
**SLOPE ANALYSIS DATA**

- AREA OF SITE - 48,145 S.F.
- AREA OF SITE WITH 25% SLOPES OR GREATER: AREA - 11,804 SF, PERCENT OF TOTAL SITE - 24.5%
- AREA OF SITE WITH SLOPES 25% OR GREATER THAT HAVE BEEN PREVIOUSLY DISTURBED PER INVESTIGATION BY GEOTECHNICAL EXPLORATION, INC.: AREA - 2,875 SF, PERCENT OF TOTAL SITE - 5.9%
- AREA OF SITE WITH 25% SLOPES OR GREATER, PREVIOUSLY UNDISTURBED: AREA 8,729 SF, PERCENT OF TOTAL SITE - 17.8%
- AMOUNT OF SITE WITH SLOPES THAT ARE SUBJECT TO EEL NREG, (LDC SEC. 143 0110): 6,729 SF, (17.8%)

-  AREA OF SITE WITH SLOPES GREATER THAN 25% PREVIOUSLY UNDISTURBED
-  AREA OF SITE WITH SLOPES GREATER THAN 25% PREVIOUSLY DISTURBED



LINE SURROUNDING AREA OF PREVIOUS DISTURBANCE PER INVESTIGATION BY GEOTECHNICAL EXPLORATION, INC



*Anthony K. Christensen*  
 ANTHONY K. CHRISTENSEN  
 RCE 5422  
 EXP. 12-31-13  
 Date: NOVEMBER 30, 2012



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Project Name:  
 ROBERTS RESIDENCE

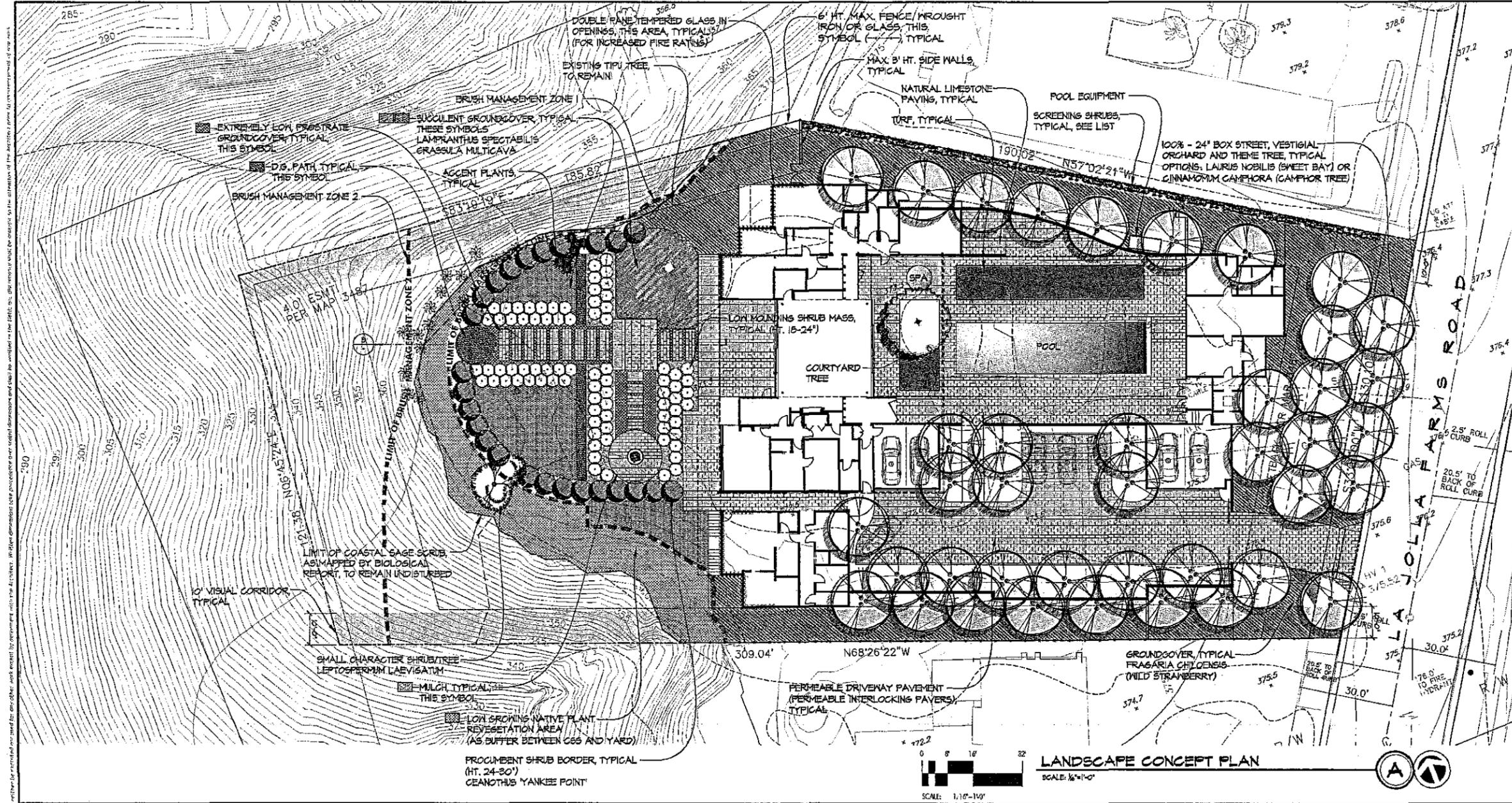
- Revision 6:
- Revision 4:
- Revision 3:
- Revision 2:
- Revision 1: 11-20-12 ADDED DISTURBED AREA

Sheet Title: SLOPE ANALYSIS  
 Original Date: NOVEMBER 12, 2012  
 SHEET 22 OF 27 SHEETS

PTS NO. 25458

**C-3**





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Project No. \_\_\_\_\_  
 Design/ Drawing \_\_\_\_\_  
 Sheet \_\_\_\_\_  
 Scale See Drawings  
 Date February 19, 2013

Completeness Submittal	September 06, 2012
CDP Submittal - 1	September 26, 2012
CDP Submittal - 2	December 13, 2012
CDP Submittal - 3	January 29, 2013
Landscape Concept Plan	CDP Submittal - 4 February 20, 2013

**L-2**  
 SHEET 26 OF 24



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**PLANT PALETTE**

ABBR.	SCIENTIFIC NAME	COMMON NAME	NOTES	HEIGHT	SPREAD	SPACING
<b>STREET, VESTIBULAR ORCHARD AND THEME TREE - 100% 24" BOX MIN.</b>						
CIN. CAM.	CINNAMOMUM CAMPHORA	CAMPHOR TREE	GREAT SHAPE, GLOSSY LEAVES. SHINY AROMATIC LEAVES. SLOW BUT WORTH IT. DON'T OVERWATER. MEDITERRANEAN NATIVE, 15-30 FT. TALL AND WIDE. SHRUB OR SMALL TREE, LEATHERY GREEN LEAVES USED IN COOKING, DROUGHT TOLERANT AND SOME SHADE OK.	50'	60'	10' O.C.
LAU. NOB.	LAURUS NOBILIS	SWEET BAY		15'-30'	15'-30'	10'
<b>SMALL CHARACTER SHRUB/TREE - 1 @ 15 GAL. MIN.</b>						
LEP. LAE.	LEPTOSPERMUM LAEVISSIMUM-MULTI	AUSTRALIAN TEA TREE	LARGE SHRUB/TREE 10-20 FT., GRAY GREEN LEAVES, WHITE FLOWERS, SHAAGY BARK, DEVELOPS INTO PICTURESQUE SPECIMAN, VERY TOLERANT.	10'-20'	10'-20'	N/A
<b>LARGE SCREENING SHRUBS - 100% 5 GAL. MIN.</b>						
BAM. OLD.	BAMBUSA OLDHAMII	TIMBER BAMBOO	VERTICAL, DENSE, CLUMPING TYPE, VASE SHAPE IF NOT PRUNED, GOOD FOR SCREENING, GIVES A TROPICAL LOOK.	25'	5'	4'
<b>PROMINENT SHRUB BORDER - 100% 1 GAL. MIN.</b>						
ARG. P.M.	ARCTOSTAPHYLOS PACIFIC MIST	PACIFIC MIST MANZANITA	MOUNDING GROUNDCOVER, GRAY/GREEN LEAVES, WHITE FLOWERS, FAST GROWTH, FULL SUNPT. SHADE, MORE TOLERANT OF SARDEN WATERING THAN MOST.	25'	5'	5.5'
CEA. Y.P.	GEANOTHUS 6. H. YANKEE POINT	YANKEE POINT CARMEL CREEPER	2-3 FT. TALL. NEEDS ONLY LIGHT SPRINKLER COVERAGE, FRAGRANT MEDIUM BLUE FLOWERS ON DEEP BLOSSY GREEN LEAVES. DO NOT OVERWATER.	25'	8'	5.5'
CIS. SUN.	CISTUS SUNSET	SUNSET HYBRID ROCKROSE	DROUGHT RESISTANT SHRUBS WITH WHITE, WHITE/YELLOW OR PURPLE FLOWER, LOW SPREADING TYPE.	2'	5'	5.5'
RIB. VIB.	RIBES VIBURNIFOLIUM	EVERGREEN CURRANT	SPREADING EVERGREEN SHRUB, NATIVE TO CATALINA ISLAND AND BAJA CALIFORNIA, RED STEMS WITH DARK GREEN LEAVES, PINK FLOWERS IN EARLY SPRING, FOLLOWED BY RED BERRIES.	25'	6'	5.5'
<b>LOW GROWING GROUNDCOVER - 100% 1 GAL. MIN.</b>						
ARG. E.C.	ARCTOSTAPHYLOS EMERALD CARPET	EMERALD CARPET MANZANITA	NATIVE, COMPACT GROUNDCOVER, ACID LOVING, TAKES SHADE AND SOME MOISTURE.	1'	4-6'	5-8'
CAR. HOR.	CARISSA M. HORIZONTALIS	SPREADING NATAL PLUM	FULL AND DENSE, SPREADING, TRAILING.	15'-2'	5'	5-8'
COT. LOW.	COTONEASTER LOWFAST	LOWFAST HYBRID COTONEASTER	FAST, PROSTRATE GROWTH, 12" TALL, SMALL, BRIGHT RED FRUIT.	1'	6'	5-8'
OST. A.Q.	OSTEOSPERMUM F. AFRICAN QUEEN	PURPLE HYBRID AFRICAN DAISY	HYBRID PERENNIAL WITH BRIGHT PURPLE FLOWERS. FAST GROWER, VERY HARDY. DEER & RABBIT RESISTANT.	1'	4'	5-8'
<b>SUCCULENT GROUNDCOVER - 100% 4" POTS</b>						
GRA. MUL.	GRASSULA MULTICAVA	N.G.N.	ZERO CARE MOUNDING GROUNDCOVER. GREAT IN POTS.	15'	2'	2' O.C.
LAM. SFE.	LAMFRANTHUS SPECTABILIS	TRAILING ICE PLANT	DAZZLING PURPLE FLOWERS IN SPRING.	1'	2'	12' O.C.
<b>EXTREMELY LOW PROSTRATE GROUNDCOVER - 100% FROM FLATS</b>						
DYM. MAR.	DYMONDIA MARGARETAE	DYMONDIA	CLOSE KNIT GROUNDCOVER, LIKE MINI-GRAY SAZANIA. TAKES SOME FOOT TRAFFIC IF WATERED.	2'	20"	5' O.C.
FRA. CHI.	FRAGARIA CHILONENSIS	WILD STRAWBERRY	LOW, COMPACT WITH WHITE FLOWERS IN SPRING, RED, SEEDY FRUIT IN FALL. SUN OR PART SHADE.	4"	2"	12" O.C.
SED. ANG.	SEDUM ANGLICUM	STONECROP	LOW SPREADING GREEN PLANT WITH TINY FOLIAGE, PINK-WHITE FLOWERS, PART SHADE, TOUGH LOW MAINTENANCE.	2"	2"	5' O.C.
SED. B.S.	SEDUM REFLEXUM 'BLUE SPRUCE'	STONECROP	VIGOROUS LOW SPREADING PLANT OF NEEDLE LIKE BLUE/GRAY LEAVES, 2 INCHES HIGH, SET 1-12 INCHES FOR GROUNDCOVER, TOUGH, LOW MAINTENANCE.	2"	2"	5' O.C.
SED. FUL.	SEDUM SPURUM FULDASLUT	STONECROP	LOW GROWING, TRAILING STEMS, RED LEAFED VARIETY WITH PINK FLOWERS, PART SHADE, TOUGH LOW MAINTENANCE.	2"	2"	5' O.C.
SED. REP.	SEDUM REPASTRE 'ANGELINA'	GOLDEN STONECROP	VIGOROUS SPREADING PLANT OF YELLOW/ORANGE TIPPED LEAVES, YELLOW FLOWERS, TOUGH, LOW MAINTENANCE.	2"	2"	5' O.C.
THY. SER.	THYMUS SERPHYLLUM	CREeping THYME	PROSTRATE TO 8" HT., SPREADING IN PURPLE FLOWERS. VERY HARDY, RABBIT RESISTANT.	3"	3"	12" O.C.
<b>ACCENT PLANTS - 100% 1 GAL. MIN.</b>						
DIA. LR.	DIANELLA TASMANICA 'LITTLE REY'	LITTLE REY FLAX LILY	BOLD BLUE UPRIGHT FOLIAGE CLUMP, TOLERATES POOR SOILS, DROUGHT, HEAT, GOOD NEXT TO DRIVES AND SIDEWALKS. FULL SUN, FAST GROWING 18 TO 24 IN. TALL & WIDE.	15"	1'	1' O.C.
PHO. A.G.	PHORMIUM ATROPURPUREUM COMPACTUM	COMPACT PURPLE FLAX	REDDISH-BROWN FOLIAGE, SLIGHTLY ARCHING, COMPACT.	4"	5"	5'
<b>VINES - 100% 1 GAL. MIN.</b>						
BOU. B.K.	BOUSAINVILLEA BARBARA KARST - ESPALIER	BARBARA KARST BOUSAINVILLEA	BRIGHT RED, VIGOROUS GROWER, LONG BLOOMING PERIOD.	10'	15'	10'
<b>LOW GROWING NATIVE PLANTS (FOR REVEG AREA) - 100% FROM SEED</b>						
CAM. CHE.	CAMISSONIA CHEIRANTHIFOLIA SSP. SUFFRUTICOSA	SUN CLIP (BEACH EVENING PRIMROSE)	YELLOW BEACH PRIMROSE, NATIVE.	1'	5'	SEED
CLE. ARB.	CLEOME ARBOREA	BLADDER POD	BRIGHT YELLOW FLOWERS TURN TO CHARTREUSE GREEN PODS IN SUMMER. SMALL PLANT, EASY TO CULTIVATE.	4'	5'	SEED
COR. MAR.	COREOPSIS MARITIMA	SEA DAHLIA	YELLOW DAISY LIKE FLOWERS ON MUM-LIKE FOLIAGE. RABBIT RESISTANT.	2'	5'	SEED
ENG. CAL.	ENCHELIA CALIFORNICA	CALIFORNIA ENCHELIA	YELLOW DAISY LIKE FLOWERS ON DEEP GREEN LEAVES. DEER & RABBIT RESISTANT. ATTRACTS BEES AND BUTTERFLIES.	4'	3.5'	SEED
ERI. CON.	ERIOPHYLLUM CONFERTIFLORUM	GOLDEN YARROW	HERBACEOUS SUB SHRUB, GRAY FOLIAGE, BRIGHT ORANGE/YELLOW FLOWERS IN SPRING/SUMMER, 2X/MO SUMMER WATER. ATTRACTS BUTTERFLIES, BEES AND BIRDS.	2'	5'	SEED
LOT. SCO.	LOTUS SCOPARIUS	DEERWEED, BIRD'S FOOT TREFLOIL	NATIVE TO COASTAL BASS SCRUB, FAST, PERENNIAL, SMALL BRIGHT GREEN LEAVES, PROFUSE YELLOW PEA TYPE FLOWERS. ATTRACTS HUMMINGBIRDS, BEES AND BUTTERFLIES.	2'	5'	SEED
NAS. PUL.	NASSELLA PULCHRA	PURPLE NEEDLE GRASS	NATIVE GRASS FORMS CLUMPS OF FINE, BLADES WITH PURPLISH FLOWERS.	1.5'	2'	SEED
VIS. LAG.	VISUERA LACINATA (BAHIOPSIS LACINATA)	SAN DIEGO SUNFLOWER	PERENNIAL, COMPOSITE YELLOW FLOWERS, NATIVE TO DESERTS AND DRY MOUNTAIN SLOPES.	5'	3'	SEED

**GENERAL NOTES**

ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE [42.0405].

TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.

IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

MINIMUM TREE SEPARATION DISTANCE IMPROVEMENT / MINIMUM DISTANCE TO STREET TREE TRAFFIC SIGNALS (STOP SIGN) - 20 FEET UNDERGROUND UTILITY LINES - 5 FEET ABOVE GROUND UTILITY STRUCTURES - 10 FEET DRIVEWAY (ENTRIES) - 10 FEET INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET SEWER LINES - 10 FEET

MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH [42.0415(B)].

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS.

LANDSCAPE AREAS FOR TREES: THE OPENINGS FOR TREES PLANTED IN PAVED AREAS SHALL BE A MINIMUM 40 SQUARE FEET IN AREA AND WATER PERMEABLE. UNCONSOLIDATED MULCH MATERIALS MUST BE COVERED BY TREE GRATES OR UNATTACHED PAVES.

**MAINTENANCE CRITERIA**

TREES SHALL BE WATERED DEEPLY, BUT INFREQUENTLY, TO PROMOTE DEEPER ROOTING, AND SHALL BE FERTILIZED AS REQUIRED BY SOUND HORTICULTURAL PRACTICES.

PLANTS SHALL BE PRUNED IN ACCORDANCE WITH PROFESSIONAL TRIMMING STANDARDS TO MAINTAIN THEIR INTENDED SHAPES AND SIZES, AND TO INSURE THE HEALTH OF THE SPECIMEN AND THE SAFETY OF THE PUBLIC.

TREE GUYS AND STAKE TIES SHALL BE INSPECTED AND ADJUSTED PERIODICALLY, AND REMOVED WHEN NECESSARY, TO INSURE THAT THEY ARE ADEQUATELY SURROUNDING THE TREE WITHOUT GIRDLING TRUNKS OR BRANCHES.

PLANTS SHALL BE PRUNED TO AVOID BLOCKING WALLS, PASSAGEWAYS AND SIGHT DISTANCE VIEWS FOR VEHICULAR TRAFFIC.

DEAD PLANTS SHALL BE REPLACED, DAMAGED BRANCHES SHALL BE REMOVED, AND OVERGROWN AREAS SHALL BE THINNED BY THE SELECTIVE REMOVAL OF UNNECESSARY PLANTS.

SHRUBS AND VINES USED FOR SCREENING TRASH ENCLOSURES AND SERVICE AREAS SHALL BE PRUNED TO MAXIMIZE SCREENING WHILE ALLOWING ACCESS TO THE STORAGE/SERVICE AREAS.

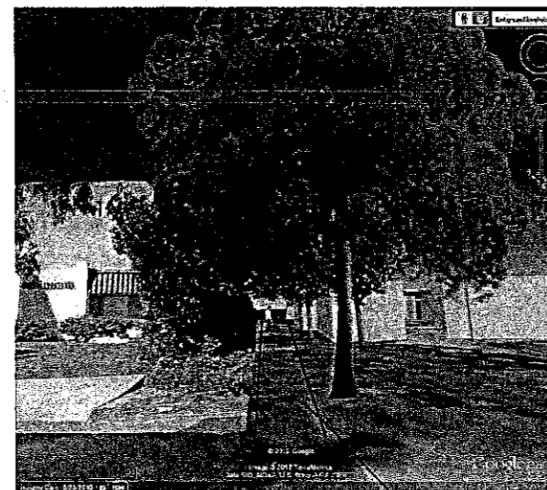
SHRUBS, TREES, AND VINES USED TO MEET THE "REMAINING YARD RESIDENTIAL BUFFERING" REQUIREMENT OR FOR SCREENING ADJACENT PROPERTIES SHALL BE KEPT PRUNED SO THEY DO NOT INTERFERE WITH PEDESTRIAN TRAFFIC AND DO NOT ENROACH EXCESSIVELY ONTO THE ADJACENT PROPERTY.

**IRRIGATION NOTES**

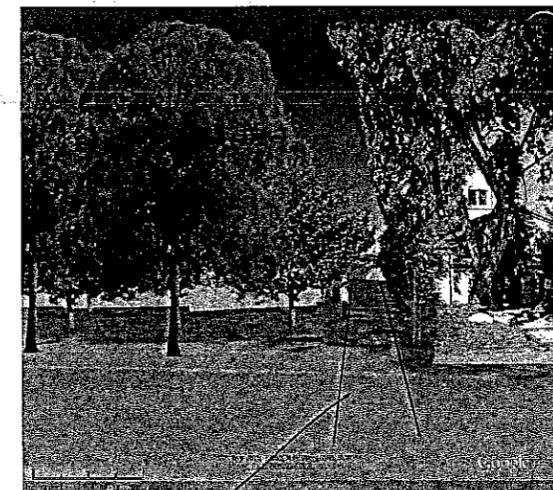
ALL PLANTED AREAS SHALL BE IRRIGATED WITH A PERMANENT, AUTOMATICALLY CONTROLLED IRRIGATION SYSTEM USING LOW PRECIPITATION AND PRECIPITATION MATCHED HEADS. LAWN AREAS SHALL HAVE SEPARATE SYSTEMS. ALL SPRINKLER HEADS IN THE RIGHT-OF-WAY OR WITHIN TWO FEET OF THE SIDEWALK SHALL HAVE EXCESS FLOW VALVES IN THEM AND BE ON VALVES CONTROLLED FROM WITHIN THE PROPERTY.

**MAINTENANCE NOTES**

LANDSCAPE MAINTENANCE SHALL BE PERFORMED ON ALL IMPROVED AREAS OF THE SITE, PER THE CRITERIA OF THE CITY OF SAN DIEGO LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AS WELL AS THE REQUIREMENTS OF THE MAINTENANCE MANUAL AND SPECIFICATIONS OF DAVID REED, LANDSCAPE ARCHITECTS.



NEIGHBORING PROPERTY  
VIEW ALONG SOUTH PROPERTY LINE



VIEW ALONG NORTH PROPERTY LINE

**VISUAL CORRIDORS**  
NOT TO SCALE



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CDP Submittal - 4 February 20, 2013  
**Landscape Concept Plan**

**L-3**  
SHEET 27 OF 24



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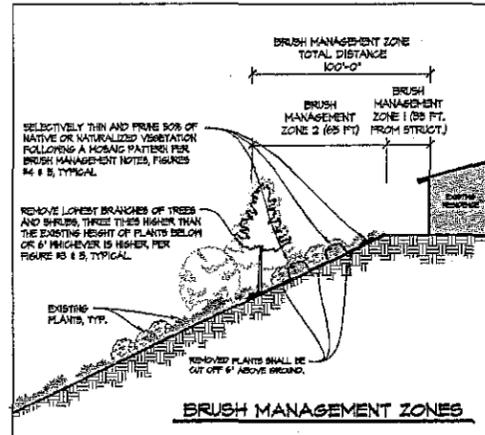


**BRUSH MANAGEMENT NOTES**

BRUSH MANAGEMENT IS REQUIRED IN ALL BASE ZONES ON THE FOLLOWING TYPES OF PREMISES:

- (1) PUBLICLY OR PRIVATELY OWNED PREMISES THAT ARE WITHIN 100 FEET OF A STRUCTURE AND CONTAIN NATIVE OR NATURALIZED VEGETATION.
- (2) EXCEPT FOR WETLANDS, ENVIRONMENTALLY SENSITIVE LANDS THAT ARE WITHIN 100 FEET OF A STRUCTURE, UNLESS THE FIRE CHIEF DETERMINES BRUSH MANAGEMENT NECESSARY IN WETLANDS IN ACCORDANCE WITH SECTION 142.041(2), THERE BRUSH MANAGEMENT NECESSARY IN WETLANDS IS DETERMINED BY THE FIRE CHIEF. BRUSH MANAGEMENT SHALL NOT QUALIFY FOR AN EXEMPTION UNDER THE ENVIRONMENTALLY SENSITIVE LANDS REGULATIONS, SECTION 142.041(2).

BRUSH MANAGEMENT ZONES, WHERE BRUSH MANAGEMENT IS REQUIRED, A COMPREHENSIVE PROGRAM SHALL BE IMPLEMENTED THAT REDUCES FIRE HAZARDS AROUND STRUCTURES BY PROVIDING AN EFFECTIVE FIRE BREAK BETWEEN ALL STRUCTURES AND CONTIGUOUS AREAS OF NATIVE OR NATURALIZED VEGETATION. THIS FIRE BREAK SHALL CONSIST OF TWO DISTINCT BRUSH MANAGEMENT AREAS CALLED ZONE ONE AND ZONE TWO AS SHOWN IN DIAGRAM.



- (1) BRUSH MANAGEMENT ZONE ONE IS THE AREA ADJACENT TO THE STRUCTURE SHALL BE LEAST FLAMMABLE AND SHALL CONSIST OF PAVEMENT AND PERMANENTLY IRRIGATED ORNAMENTAL PLANTINGS. BRUSH MANAGEMENT ZONE ONE SHALL NOT BE ALLOWED ON SLOPES WITH A GRADIENT GREATER THAN 4:1 (4 HORIZONTAL FEET TO 1 VERTICAL FOOT) UNLESS THE PROPERTY THAT RECEIVED TENTATIVE MAP APPROVAL BEFORE NOVEMBER 15, 1994, HOWEVER, WITHIN THE COASTAL OVERLAY ZONE COASTAL DEVELOPMENT SHALL BE SUBJECT TO THE ENCOURAGEMENT LIMITATIONS SET FORTH IN SECTION 142.041(4) OF THE ENVIRONMENTALLY SENSITIVE LANDS REGULATIONS. BRUSH MANAGEMENT ZONE 1 IS TYPICALLY 85' FROM THE STRUCTURE ON THE FLATTER PART OF THE PROPERTY NEXT TO THE BUILDING.

- ZONE 1:**
  - MUST BE IRRIGATED OR WATERED REGULARLY.
  - MUST CONSIST MOSTLY OF ORNAMENTAL VEGETATION LIKE LAWNS, LOW GROWING SHRUBS, SOME TREES WITH NO MORE THAN 10% OF NATIVE OR NATURALIZED VEGETATION.
  - TREES AND LARGE SHRUBS MUST BE PRUNED AWAY FROM STRUCTURES AND ROOFS.
  - ANY WOODEN STRUCTURES IN ZONES 1 AND 2 (SUCH AS DECKS OR FENCES) NOT HAVING A 1-HOUR FIRE RESISTANT RATING OR BUILT OF CONCRETE OR MASONRY MATERIAL, MUST BE REMOVED.
  - IRRIGATION FROM ZONE 1 MUST NOT RUN ONTO ZONE 2.

- (2) BRUSH MANAGEMENT ZONE TWO IS THE AREA BETWEEN ZONE ONE AND ANY AREA OF NATIVE OR NATURALIZED VEGETATION AND SHALL CONSIST OF THINNING, NATIVE OR NON-IRRIGATED VEGETATION.

- ZONE 2:**
  - CAN HAVE NO PERMANENT IRRIGATION.
  - MUST BE THIN AND PRUNED REGULARLY TO REDUCE VEGETATION BY 50%, WITHOUT HARMING NATIVE PLANTS, SOIL OR HABITATS.

- (3) EXCEPT AS PROVIDED IN SECTIONS 142.041(2) OR 142.041(3), THE WIDTH OF ZONE ONE AND ZONE TWO SHALL NOT EXCEED 100 FEET AND SHALL MEET THAT SHOWN IN TABLE 142-04H, BOTH ZONE ONE AND ZONE TWO SHALL BE PROVIDED ON THE SUBJECT PROPERTY UNLESS A RECORDED EASEMENT IS GRANTED BY AN ADJACENT PROPERTY OWNER TO THE OWNER OF THE SUBJECT PROPERTY TO ESTABLISH AND MAINTAIN THE REQUIRED BRUSH MANAGEMENT ZONES ON THE ADJACENT PROPERTY IN PERPETUITY.

ZONE ONE WIDTH	85 FT.
ZONE TWO WIDTH	65 FT.

**ZONE ONE REQUIREMENTS**

- (1) THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
- (2) ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER CONSTRUCTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS, PALAPAS, PLAY STRUCTURES, AND NONHABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCONSTRUCTIBLE CONSTRUCTION.
- (3) PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
- (4) TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
- (5) PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:
  - (A) WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
  - (B) WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
- (6) ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
- (7) ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.

**ZONE TWO REQUIREMENTS**

- (1) THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
- (2) NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
- (3) WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 6 INCHES.
- (4) WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.
- (5) THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRAZED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:
  - (A) ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE NON-IRRIGATED, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT CH. ART. DIV. 14 2.4.22 MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MEPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
  - (B) NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24 INCHES. SINGLE SPECIMENS OF NATIVE TREES AND TREE FORM SHRUBS MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELS.
  - (C) ALL NEW ZONE TWO PLANTINGS SHALL BE IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW-SALINITY SPRAY HEADS MAY BE USED IN ZONE TWO. OVERSPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEMS SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.
  - (D) WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.041(A), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.
- (6) ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS.
- (7) EXCEPT AS PROVIDED IN SECTION 142.041(2), WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142-04H CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.

THE FIRE CHIEF MAY MODIFY THE REQUIREMENTS OF THIS SECTION IF THE FOLLOWING CONDITIONS EXIST:

- (1) IN THE WRITTEN OPINION OF THE FIRE CHIEF, BASED UPON A FIRE FUEL LOAD MODEL REPORT CONDUCTED BY A CERTIFIED FIRE BEHAVIOR ANALYST, THE REQUIREMENTS OF SECTION 142.041 FAIL TO ACHIEVE THE LEVEL OF FIRE PROTECTION INTENDED BY THE APPLICATION OF ZONES ONE AND TWO; AND
- (2) THE MODIFICATION TO THE REQUIREMENTS ACHIEVES AN EQUIVALENT LEVEL OF FIRE PROTECTION AS PROVIDED BY SECTION 142.041(2), OTHER REGULATIONS OF THE LAND DEVELOPMENT CODE, AND THE MINIMUM STANDARDS CONTAINED IN THE LAND DEVELOPMENT MANUAL; AND
- (3) THE MODIFICATION TO THE REQUIREMENTS IS NOT DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY, AND WELFARE OF PERSONS RESIDING OR WORKING IN THE AREA.

IF THE FIRE CHIEF APPROVES A MODIFIED PLAN IN ACCORDANCE WITH THIS SECTION AS PART OF THE CITY'S APPROVAL DEVELOPMENT PERMIT, THE MODIFICATIONS SHALL BE RECORDED WITH THE APPROVED PERMIT CONDITIONS.

FOR EXISTING STRUCTURES, THE FIRE CHIEF MAY REQUIRE BRUSH MANAGEMENT IN COMPLIANCE WITH THIS SECTION FOR ANY AREA, INDEPENDENT OF SIZE, LOCATION, OR CONDITION IF IT IS DETERMINED THAT AN IMMINENT FIRE HAZARD EXISTS.

BRUSH MANAGEMENT FOR EXISTING STRUCTURES SHALL BE PERFORMED BY THE OWNER OF THE PROPERTY THAT CONTAINS THE NATIVE AND NATURALIZED VEGETATION. THIS REQUIREMENT IS INDEPENDENT OF WHETHER THE STRUCTURE BEING PROTECTED BY BRUSH MANAGEMENT IS OWNED BY THE PROPERTY OWNER SUBJECT TO THESE REQUIREMENTS OR IS ON NEIGHBORING PROPERTY.

**THINNING AND PRUNING**

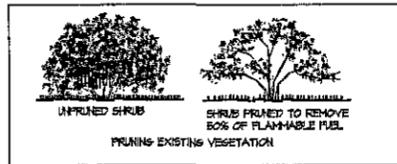
- 1. CONTRACTOR TO PRUNE, THIN, AND CLEAR BRUSH AND DEAD WOOD IN ZONES 2 PER THESE DRAWINGS. THIS INCLUDES ALL WORK ATTENDANT TO THE CONTRACT, INCLUDING, BUT NOT LIMITED TO, HAULING AND CLEANUP.
- 2. LISTED IN ORDER OF PRIORITY FOR BRUSH MANAGEMENT ARE THE FOLLOWING:
  - A. REMOVAL OF DEAD WOOD; B. PRUNING OR CLEARING OF EXOTIC SPECIES AND ELEGANTIAS; C. PRUNING AND THINNING. PRUNING AND THINNING SHOULD BE DONE PER THE ATTACHED PRUNING DIAGRAM OR AS SPECIALLY NOTED ON THESE PLANS.
- 3. CONTRACTOR TO MEET WITH LANDSCAPE ARCHITECT ON SITE BEFORE STARTING WORK TO REVIEW PRIORITIES, PRUNING METHODS, GUIDELINES, ETC.
- 4. SPECIAL CARE SHALL BE TAKEN IN THESE BRUSH MANAGEMENT AREAS NOT TO DISTURB ANY OBVIOUS WILDLIFE HABIT, INCLUDING, BUT NOT LIMITED TO, BIRD NESTS.
- 5. WHILE CLEARING AND THINNING IS NOT REQUIRED ON SLOPES THAT ARE PLANTED AND IRRIGATED WITH TRADITIONAL LANDSCAPE PLANTINGS, DEAD WOOD SHALL BE REMOVED FROM THESE ZONE 1 AREAS WHERE THEY OCCUR ON THE PROPERTY.
- 6. CONTRACTOR TO SUBMIT CERTIFICATES OF INSURANCE TO OWNER OR OWNER'S AGENT IN ADVANCE OF STARTING WORK.

TWO KEY FACTORS IN CREATING A FIRE SAFE LANDSCAPE ARE PROVIDING FUEL DISCONTINUITY BY THE SEPARATION OF THE FLAMMABLE PLANT COVER (THINNING) AND REDUCING IN FUEL LOAD BY CUTTING OUT DEAD AND EXCESS GROWTH OF CHAPARRAL PLANTS (PRUNING). WHENEVER POSSIBLE, A PERSON KNOWLEDGEABLE ABOUT THE USE AND MAINTENANCE OF NATIVE PLANTS SHOULD BE CONSULTED TO OVERSEE THE SELECTION, THINNING AND PRUNING OF THESE PLANTS.

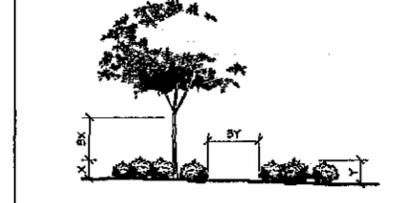
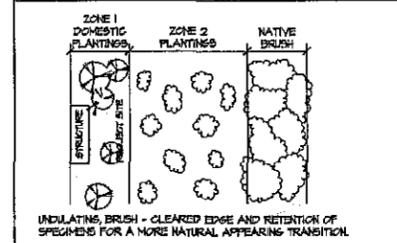
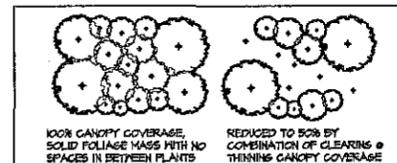
**HOW TO THIN AND PRUNE BRUSH IN ZONE 2**

**STEP 1: REMOVE...** AS MUCH OF THE DEAD WOOD AS YOU CAN

**STEP 2: PRUNE...** TALL VEGETATION LIKE CHAPARRAL BY CUTTING AND SHAPING LARGER PLANTS INTO 'UMBRELLAS.' THIS MEANS PRUNING AWAY THE LOWER BRANCHES-ABOUT HALF-OF PLANTS OVER 2 FEET HIGH TO CREATE UMBRELLA-SHAPED CANOPIES. IF YOU CAN GET A GOOD IDEA TO PRUNE THE LOWER BRANCHES OF ALL THE LARGER PLANTS, THIS ALLOWS YOU TO SEE AND DEAL WITH WHAT IS GROWING UNDERNEATH. DO NOT PRUNE THE TOPS OF PLANTS, JUST THE LOWER BRANCHES. THIS KEEPS THE PLANT HEALTHY, AND THE SHADE FROM THE PLANT CANOPY REDUCES WEED AND PLANT GROWTH UNDERNEATH. IN VEGETATION THAT IS LESS TALL, LIKE COASTAL SAGE SCRUB, YOU MAY NOT NEED TO DO STEP 2.



**STEP 3: THIN...** THE ENTIRE ZONE 2 AREA. THIS MEANS CUTTING DOWN NO MORE THAN 50% OF THE PLANTS OVER 2 FEET HIGH TO A HEIGHT OF 6 INCHES, AND MAY INCLUDE SOME OF THE PLANTS YOU PRUNED IN STEP TWO. DON'T GO ANY LOWER THAN 6 INCHES SO THE ROOTS REMAIN TO CONTROL SOIL EROSION. THE GOAL IS TO CREATE A 'MOSAIC' OR MORE NATURAL LOOK, AS SHOWN BELOW. SO DO YOUR CUTTING IN A 'STAGGERED' PATTERN. LEAVE UNCUT PLANT GROUPINGS OF 400 SQUARE FEET-THAT'S A 20 X 20-FOOT AREA, OR AN AREA THAT CAN BE ENCIRCLED BY AN 80-FOOT ROPE-SEPARATED BY GROUPINGS OF PLANTS CUT DOWN TO 6 INCHES.



**STEP 4: DISPOSE...** OF THE CUTTINGS AND DEAD WOOD BY EITHER HAULING IT TO A LANDFILL, OR BY CHIPPING/COMPOSTING IT ON-SITE AND SPREADING IT OUT IN THE ZONE 2 AREA TO A DEPTH OF NOT MORE THAN 6 INCHES.

**STEP 5: PRUNE ANNUALLY...** BECAUSE PLANTS WILL GROW BACK, YOU CAN ALSO 'NIP IT IN THE BUD' BY RUBBING OUT THE BUDS ON PLANTS IN THE SPRING TO KEEP FROM HAVING TO PRUNE AND THIN AS OFTEN.

CONTRACTOR TO PERFORM BRUSH MANAGEMENT DUTIES USING THESE TECHNIQUES.

THINNING THIS FIRST STEP REQUIRES IDENTIFICATION OF THE CHAPARRAL SPECIES AND FAMILIARITY WITH THEIR VARIOUS CHARACTERISTICS SUCH AS ROOTING DEPTH, FUEL LOADS, FLAMMABILITY, AS WELL AS HABITAT AND AESTHETIC VALUE. ALL NATIVE VEGETATION THAT IS NOT TO BE REMOVED DURING THE INITIAL THINNING SHOULD BE NOTED OR FLAGGED. THE PLANTS WHICH ARE NOT TO BE SAVED SHOULD BE CUT OFF SEVERAL INCHES ABOVE THE GROUND WITHOUT PULLING OUT THE ROOTS (NO GRUBBING). CERTAIN NATIVE PLANTS WHICH IN THE WILD ARE FOUND AS HIGHLY FLAMMABLE SHRUBS CAN BE CUT BACK TO THE ROOT CROWN AS SPROUTING AND REGROWTH OCCUR THESE PLANTS CAN BE MAINTAINED AS LOW GROWING OR SUCCESSION FLOWERING SHRUBS IF PROPERLY PRUNED. EXAMPLES INCLUDE ARTEMISIA CALIFORNICA (CALIFORNIA SAGEBRUSH) SALVIA MELILLIFERA (BLACK SAGE), ADELPHOTIS FASCICULATA (GREENSEE) AND ERGONEM FASCICULATA (BUCKWHEAT).

PERMANENT BRIDGICATION WHERE APPROPRIATE CAN BE ACCOMPLISHED BY TREATING THE STUMPS WITH HERBICIDES. WHEN USING HERBICIDES EXCEPT AS SPECIALLY NOTED HEREIN, FOLLOW THESE SUGGESTIONS:

- A) SELECT AN HERBICIDE THAT DOES NOT AFFECT THE REMAINING PLANTS.
  - B) AVOID OVERSPRAY.
  - C) TREAT A SMALL TEST AREA FIRST.
  - D) DO NOT USE PRE-EMERGENT HERBICIDES. (EXCEPT WHERE SPECIALLY INSTRUCTED OR ALLOWED)
- THE REMAINING PLANTS SHOULD MAINTAIN THE ALLOWABLE COVERAGE, MASSING AND SPACING REQUIRED. THE FIGURES ILLUSTRATE THE IDEA OF COVERAGE, MASSING AND SPACING (FIGURES 14&5).

PRUNING AFTER THINNING OF THE CHAPARRAL, THE FUEL LOAD SHOULD BE FURTHER REDUCED BY PRUNING THE NATIVE PLANTS THAT HAVE NOT BEEN REMOVED. WHILE PRUNING INDIVIDUAL PLANTS IS NOT FEASIBLE IN COASTAL SAGE SCRUB, IT IS VERY EFFECTIVE FOR MANY WOOD CHAPARRAL SPECIES, SUCH AS CEANOTHUS MOUNTAIN LILAC, NECTANES (TOTO), RAIS (LEMONADE BERRY, SUGARBERRY), AND RHAMNUS (COFFEEBERRY, REDBERRY). THESE PLANTS CAN BE SHAPED INTO ATTRACTIVE FIRE SAFE SPECIES BY PRUNING DEAD AND EXCESSIVELY THICKY GROWTH. FIGURE 6 ILLUSTRATES PRUNING OF NATIVE SHRUBS.

NOTE THAT THE LINES TOUCHING THE GROUND COVER HAVE BEEN REMOVED, AND THAT A LARGE VOLUME OF MATERIAL HAS BEEN TAKEN FROM THE CANOPY. THE LINES THAT REMAIN SHOULD BE THOSE WITH YOUNG, VIGOROUS SHOOTS.

**MAINTENANCE**

REGULAR INSPECTIONS AND LANDSCAPE MAINTENANCE IS NECESSARY TO MINIMIZE THE POTENTIAL DAMAGE OR LOSS OF PROPERTY FROM BRUSH FIRES AND OTHER NATURAL HAZARDS SUCH AS EROSION AND SLOPE FAILURES. BECAUSE EACH PROPERTY IS UNIQUE, ESTABLISHING A PRECISE MAINTENANCE SCHEDULE IS NOT FEASIBLE HOWEVER, FOR EFFECTIVE FIRE AND WATERSHED MANAGEMENT, PROPERTY OWNERS SHOULD EXPECT TO PROVIDE MAINTENANCE ACCORDING TO EACH BRUSH MANAGEMENT ZONE.

- ZONE 1: YEAR-ROUND MAINTENANCE.
- ZONE 2: REGULAR INSPECTIONS, PERIODIC MAINTENANCE, ANNUAL, PRE-FIRE SEASON REVIEW.

**BRUSH MANAGEMENT ZONE 1**

THIS IS THE MOST CRITICAL AREA FOR FIRE AND WATERSHED SAFETY. ALL ORNAMENTAL PLANTINGS SHOULD BE KEPT WELL WATERED AND ALL IRRIGATION WATER SHOULD DRAIN TOWARD THE STREET. RAIN GUTTERS AND DRAINAGE PIPES SHOULD BE CLEANED REGULARLY AND ALL LEAVES REMOVED FROM THE ROOF BEFORE THE FIRE SEASON BEGINS. ALL PLANTING, PARTICULARLY NON-IRRIGATED NATIVES AND LARGE TREES SHOULD BE REGULARLY PRUNED TO ELIMINATE DEAD FUELS, TO REDUCE EXCESSIVE FUEL AND TO PROVIDE ADEQUATE SPACE BETWEEN PLANTS AND STRUCTURES.

**BRUSH MANAGEMENT ZONE 2**

PERIODIC MAINTENANCE IN THIS ZONE SHOULD INCLUDE REMOVAL OF DEAD WOODY PLANTS, ERADICATION OF WEEDY SPECIES AND ON-GOING PRUNING AND THINNING OF TREES AND SHRUBS. REMOVAL OF WEEDS SHOULD NOT BE DONE WITH HAND TOOLS SUCH AS HOES, AS THIS REMOVES VALUABLE SOIL. THE USE OF REED TRIMMERS OR OTHER TOOLS WHICH RETAIN SHORT STUBBLE THAT PROTECTS THE SOIL IS RECOMMENDED. NATIVE SHRUBS SHOULD BE PRUNED IN THE SUMMER AFTER THE MAJOR PLANT GROWTH OCCURS. WELL PRUNED HEALTHY SHRUBS SHOULD TYPICALLY REQUIRE SEVERAL YEARS TO BUILD UP EXCESSIVE LIVE AND DEAD FUEL. ON SLOPES ALL DRAINAGE DEVICES MUST BE KEPT CLEAR. REINFORST AFTER EACH MAJOR STORM SINCE MINOR SOIL SLIPS CAN BLOCK DRAINS. VARIOUS GROUNDCOVERS (E.G. IVY) SHOULD BE PERIODICALLY SHEARED AND THATCH REMOVED. (FROM GRASSES AND SOME ICE PLANTS). DISEASED AND DEAD WOOD SHOULD BE PRUNED FROM TREES. FERTILIZING TREES AND SHRUBS IS NOT TYPICALLY RECOMMENDED AS THIS MAY STIMULATE EXCESSIVE GROWTH HOWEVER, A LIGHT APPLICATION OF BALANCED FERTILIZER MAY BE BENEFICIAL IN PRODUCING NEW GROWTH WHEN SEVERELY PRUNING OLD SHRUBS AND WOODY GROUNDCOVERS.

**Alcorn & Benton**  
ARCHITECTS  
7757 Girard Avenue, La Jolla, California 92037  
P.858.459.0805 F.858.459.1350

**ROBERTS**  
RESIDENCE

9438 La Jolla Farms Road  
San Diego, California 92037

Project No. \_\_\_\_\_  
Design/ Drawing \_\_\_\_\_  
Sheet \_\_\_\_\_  
Scale \_\_\_\_\_ See Drawings  
Date February 19, 2013  
Completeness Submittal September 06, 2012  
CDP Submittal -1 September 26, 2012  
CDP Submittal - 2 December 13, 2012  
CDP Submittal - 3 January 29, 2013  
Brush Management Notes CDP Submittal - 4 February 20, 2013

**L-5**  
SHEET 27 OF 27



**RECORDING REQUESTED BY**  
 CITY OF SAN DIEGO  
 DEVELOPMENT SERVICES  
 PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003221

**COASTAL DEVELOPMENT PERMIT NO. 1051681**  
**SITE DEVELOPMENT PERMIT NO. 1051682**  
**ROBERTS RESIDENCE PROJECT NO. 294531**  
 HEARING OFFICER

This Coastal Development Permit No. 1051681 and Site Development Permit No. 1051682 are granted by the Hearing Officer of the City of San Diego to DOUGLAS A. ROBERTS TRUST, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0504 and 126.0708. The 1.13 acre site is located at 9438 La Jolla Farms Road in the RS-1-2 Zone within the La Jolla Community Plan, Coastal Overlay Zone (Appealable), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Beach Impact and Campus Impact areas), Residential Tandem Parking Overlay Zone, and Council District 1. The project site is legally described as: Lot 24 of La Jolla Farms, in the City of San Diego, State of California, according to Map thereof No. 3487, filed in the Office of the County Recorder of San Diego County, August 9, 1956.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for modifications and additions to an existing single family dwelling unit, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 22, 2013, on file in the Development Services Department.

The project shall include:

- a. A 1,495 square foot addition to an existing 3,377 square foot single family dwelling unit, a 1,956 square foot habitable accessory building, a 1,094 non-habitable accessory building, a screened pool area, two garages and a screened parking area;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;

- d. Construction of associated site improvements (i.e. hardscape and site walls).
- e. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by \_\_\_\_\_, 2016.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**FIRE-PLANS OFFICER REQUIREMENTS:**

12. Prior to the issuance of a building permit, the Owner/Permittee shall incorporate on the construction documents a Knox Box for the gate and the proposed structures shall be required to be sprinklered.

**ENGINEERING REQUIREMENTS:**

13. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement for the curb outlet, landscape and irrigation located within La Jolla Farms Road right-of-way, satisfactory to the City Engineer.

14. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMPs) maintenance, satisfactory to the City Engineer.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction BMPs necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate and show the type and location of all post construction BMPs on the final construction drawings, consistent with the approved Water Quality Technical Report.

18. The drainage system proposed for this development is private and subject to approval by the City Engineer.

19. Prior to the issuance of a building permit, the Owner/Permittee shall obtain a grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

**LANDSCAPE REQUIREMENTS:**

20. Complete landscape and irrigation construction documents, consistent with the Land Development Manual-Landscape Standards, shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 square foot area around each tree that is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

21. Prior to issuance of any construction permits for grading, the Owner/Permittee or Subsequent Owner/Permittee shall ensure that all proposed landscaping shall not include exotic plant species that may be invasive to native habitats. Plant species found within the California Invasive Plant Council's (Cal-IPC Invasive Plant Inventory and the prohibited plant species list found in Table 1 of the Landscape Standards shall not be permitted.

22. Site Plan, Grading Plan and Landscape Construction Plans shall include Covenant of Easement and View Corridors.

23. Plant material located in the view corridor shall not exceed a height of 36 inches at maturity. Scaffolding/pruning of trees shall be maintained so as not to significantly obstruct views in the view corridor.

24. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or a Final Landscape Inspection.

25. Any required planting that dies within 3 years of installation shall be replaced within 30 calendar days of plant death with the same size and species of plant material shown on the approved plan.

26. Required shrubs or trees that die 3 years or more after installation shall be replaced with 15-gallon size or 60-inch box size /15 foot BTH material, respectively. Development Services may authorize adjustment of the size and quantity of replacement material.

**PLANNING/HISTORICAL RESOURCE REQUIREMENTS:**

27. Prior to the issuance of any building permit(s) for current and future improvements to the single-dwelling unit at 9438 La Jolla Farms Road, the Owner/Permittee shall submit the construction documents to the Historical Resources Division within the Development Services Department for review. The construction documents shall show all proposed improvements and shall be consistent with the U.S. Secretary of Interior's Standards due to the historic nature of the structure.

**PLANNING/DESIGN REQUIREMENTS:**

28. Prior to the issuance of any construction permits, the Owner/Permittee shall record two 10-foot wide View Corridor Easements as shown on Exhibit "A," in accordance with SDMC section 132.0403.

29. Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Covenant of Easement which ensures preservation of the Environmentally Sensitive Lands that are outside the allowable development area on the premises as shown on Exhibit "A" for Sensitive Biological Resources and Steep Hillides, in accordance with SDMC section

143.0152. The Covenant of Easement shall include a legal description and an illustration of the premises showing the development area and the Environmentally Sensitive Lands as shown on Exhibit "A."

30. Owner/Permittee shall maintain a minimum of six (6) off-street parking spaces [total of seven (7) parking spaces are being provided] on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

31. Prior to the issuance of a building permit, the Owner/Permittee shall submit a signed agreement with the City that specifies that the guest quarters or habitable accessory building shall not be used as, or converted to, a companion unit or any other dwelling unit. The agreement shall include a stipulation that neither the primary dwelling unit nor the guest quarters or habitable accessory building shall be sold or conveyed separately. The City will provide the agreement to the County Recorder for recordation.

32. The detached guest quarters shall not be rented, leased, or sold as a separate dwelling unit.

33. The guest quarters shall be used solely by the occupants of the primary dwelling unit, their guests, or their employees.

34. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

35. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in accordance with Council Policy 900-14.

36. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

#### **GEOLOGY REQUIREMENTS:**

37. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

38. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology

Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on May 22, 2013, and Resolution No. HO-XXXX.

Permit Type/PTS Approval No.: CDP No. 1051681 & SDP No. 1051682  
Date of Approval: May 22, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

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Jeffrey A. Peterson  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

DOUGLAS A. ROBERTS TRUST  
Owner/Permittee

By \_\_\_\_\_  
Diane B. Roberts  
Trustee

DOUGLAS A. ROBERTS TRUST  
Owner/Permittee

By \_\_\_\_\_  
Ralph J. Roberts, Jr.  
Trustee

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

HEARING OFFICER  
 RESOLUTION NO. \_\_\_\_\_  
 COASTAL DEVELOPMENT PERMIT NO. 1051681  
 SITE DEVELOPMENT PERMIT NO. 1051682  
**ROBERTS RESIDENCE PROJECT NO. 294531**

WHEREAS, DOUGLAS A. ROBERTS TRUST, Owner and Permittee, filed an application with the City of San Diego for a permit for modifications and additions to an existing single family dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1051681 and No. 1051682), on portions of a 1.13 acre site;

WHEREAS, the project site is located at 9438 La Jolla Farms Road in the RS-1-2 Zone within the La Jolla Community Plan, Coastal Overlay Zone (Appealable), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Beach Impact and Campus Impact areas), Residential Tandem Parking Overlay Zone, and Council District 1;

WHEREAS, the project site is legally described as Lot 24 of La Jolla Farms, in the City of San Diego, State of California, according to Map thereof No. 3487, filed in the Office of the County Recorder of San Diego County, August 9, 1956;

WHEREAS, on May 22, 2013, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1051681 and Site Development Permit No. 1051682 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated May 22, 2013.

FINDINGS:

**I. Coastal Development Permit - Section 126.0708(a)**

**1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan;**

The 1.13 acre site is located at 9438 La Jolla Farms Road and is an interior lot and is located approximately 1,425 feet from the Pacific Ocean. The property is located between the sea and the first public roadway paralleling the sea, which are identified as La Jolla Shores Drive and N. Torrey Pines Road at this location. La Jolla Farms Road at this location is identified as scenic overlook through the property, but is not designated as a physical accessway within the adopted La Jolla Community Plan (LJCP) and Local Coastal Program Land Use Plan. The proposed project would provide two 10-foot wide View Corridor Easements and has been designed to meet the development regulations of the underline zone and would not encroach upon any physical accessway and will protect public views to the Pacific Ocean.

**2. The proposed coastal development will not adversely affect environmentally sensitive lands;**

The project proposes the construction of a 1,495 square foot addition to an existing 3,377 square foot single family dwelling unit, a 1,956 square foot habitable accessory building, a 1,094 non-habitable accessory building, screened pool area, two garages and a screened parking area. The habitable accessory building consists of a two bedroom guest quarters. The subject property is an interior lot, and is located approximately 1,425 feet from the Pacific Ocean. The site is approximately 373 feet above Mean Sea Level (MSL) and is located above the 100-year floodplain.

The western edge of the project site contains Environmentally Sensitive Lands (ESL) in the form of steep hillsides and sensitive biological resources, and lies within the boundaries of an Urban Area of the City of San Diego's Multiple Species Conservation Plan (MSCP). The western property line of the site is located within approximately 50 feet the Multiple Habitat Planning Area (MHPA); however, the proposed additions and other improvements are a minimum of 150 feet east of the MHPA. The project has been designed to comply with the MSCP General Management Directives and the MSCP Subarea Plan's Land Use Adjacency Guidelines.

The proposed development lies within the previously graded building pad and no portions of the development shall extend beyond the top of the slope or into the steep hillsides and sensitive biological resources. As a condition of approval, the owner/permittee shall execute and record a Covenant of Easement, which ensures preservation of the ESL that are outside the allowable development area on the premises as shown on Exhibit "A" for sensitive biological resources and steep hillsides, in accordance with Land Development Code (LDC) Section 143.0152.

The project proposes no deviations or variances from the applicable regulations and development standards in effect for this site. Therefore, it has been determined that the development will not adversely affect environmentally sensitive lands.

**3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program; and**

The 1.13 acre site is located at 9438 La Jolla Farms Road and is an interior lot and is located approximately 1,425 feet from the Pacific Ocean. The property is located between the sea and the first public roadway paralleling the sea, which are identified as La Jolla Shores Drive and N. Torrey Pines Road at this location. La Jolla Farms Road at this location is identified as scenic overlook through the property, but is not designated as a physical accessway within the adopted LJCP and Local Coastal Program Land Use Plan. The proposed project would provide two 10-foot wide View Corridor Easements and has been designed to meet the development regulations of the underline zone and would not encroach upon any physical accessway and will protect public views to the Pacific Ocean.

The one story main structure will have a maximum building height of 16 feet at the great room, a 11 foot height for the habitable accessory building, and a 16 foot height from the highest point of grade for the non-habitable accessory building with the lower mechanical room stepping down the slope an additional 10 feet. Therefore, all of the buildings and any projections will not exceed the maximum 30 foot height limit allowed by the Coastal Height Limitation Overlay Zone (CHLOZ).

With the coastal view corridor easements, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

**4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The 1.13 acre site is located at 9438 La Jolla Farms Road and is an interior lot and is located approximately 1,425 feet from the Pacific Ocean. The property is located between the sea and the first public roadway paralleling the sea, which are identified as La Jolla Shores Drive and N. Torrey Pines Road at this location. La Jolla Farms Road at this location is identified as scenic overlook through the property, but is not designated as a physical accessway within the adopted LJCP and Local Coastal Program Land Use Plan. The proposed project would provide two 10-foot wide View Corridor Easements.

The proposed project has been designed to meet the development regulations of the underlying zone and no public view, public access to the water, public recreation facilities, or public parking facilities would be adversely affected by the approval of this development. Therefore, the proposed development has demonstrated conformance with the public access and recreation policies of the California Coastal Act as required by this finding.

## **II Site Development Permit - Section 126.0504**

### **A. Findings for all Site Development Permits**

**1. The proposed development will not adversely affect the applicable land use plan;**

The project site is located at 9438 La Jolla Farms Road in the RS-1-2 Zone within the LJCP, and the Local Coastal Program Land Use Plan. The zoning designation is a single family residential and the LJCP designates the proposed project site for Very Low Density Residential use at 0-5 dwelling units per acre (du/ac). The project site, occupying 1.13 acres, could accommodate one dwelling unit and accessory uses and buildings based on the underlying zone, and 0-5 dwelling units based on the community plan.

The project proposes the construction of a 1,495 square foot addition to an existing 3,377 square foot single family dwelling unit, a 1,956 square foot habitable accessory building, a 1,094 non-habitable accessory building, screened pool area, two garages and a screened parking area. The habitable accessory building consists of a two bedroom guest quarters.

The one story main structure will have a maximum building height of 16 feet at the great room, a 11 foot height for the habitable accessory building, and a 16 foot height from the highest point of grade for the non-habitable accessory building with the lower mechanical room stepping down the slope an additional 10 feet. Therefore, all of the buildings and any projections will not exceed the maximum 30 foot height limit allowed by the CHLOZ.

The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the underlying zone, LJCP, Local Coastal Program Land Use Plan, LDC and the General Plan. Therefore, the proposed development will not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare; and**

The project proposes the construction of a 1,495 square foot addition to an existing 3,377 square foot single family dwelling unit, a 1,956 square foot habitable accessory building, a 1,094 non-habitable accessory building, screened pool area, two garages and a screened parking area. The habitable accessory building consists of a two bedroom guest quarters. The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the underlying zone, LJCP, Local Coastal Program Land Use Plan, LDC and the General Plan.

The City of San Diego reviewed of this project in accordance with California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Section 15302 (Replacement or Reconstruction).

The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the LDC in effect for this project. Such conditions have been determined by the decision-maker as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in Coastal Development Permit No. 1051681 and Site Development Permit No. 1051682, and other regulations and guidelines pertaining to the subject property per the LDC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code.**

The project proposes the construction of a 1,495 square foot addition to an existing 3,377 square foot single family dwelling unit, a 1,956 square foot habitable accessory building, a 1,094 non-habitable accessory building, screened pool area, two garages and a screened parking area. The habitable accessory building consists of a two bedroom guest quarters.

The western edge of the project site contains ESL in the form of steep hillsides and sensitive biological resources, and lies within the boundaries of an Urban Area of the City of San Diego's MSCP. The western property line of the site is located within approximately 50 feet the MHPA; however, the proposed additions and other improvements are a minimum of 150 feet east of the MHPA. The project has been designed to comply with the MSCP General Management Directives and the MSCP Subarea Plan's Land Use Adjacency Guidelines.

The proposed development lies within the previously graded building pad and no portions of the development shall extend beyond the top of the slope or into the steep hillsides and sensitive biological resources. As a condition of approval, the owner/permittee shall execute and record a Covenant of Easement, which ensures preservation of the ESL that are outside the allowable development area on the premises as shown on Exhibit "A" for sensitive biological resources and steep hillsides, in accordance with LDC Section 143.0152.

The one story main structure will have a maximum building height of 16 feet at the great room, a 11 foot height for the habitable accessory building, and a 16 foot height from the highest point of grade for the non-habitable accessory building with the lower mechanical room stepping down the slope an additional 10 feet. Therefore, all of the buildings and any projections will not exceed the maximum 30 foot height limit allowed by the CHLOZ.

The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the underlying zone and complies with the LDC.

## **B. Supplemental Findings--Environmentally Sensitive Lands**

### **1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;**

The 1.13 acre site is located at 9438 La Jolla Farms Road and the western edge of the site contains ESL in the form of steep hillsides and sensitive biological resources, and lies within the boundaries of an Urban Area of the City of San Diego's MSCP. The western property line of the site is located within approximately 50 feet the MHPA; however, the proposed additions and other improvements are a minimum of 150 feet east of the MHPA. The project has been designed to comply with the MSCP General Management Directives and the MSCP Subarea Plan's Land Use Adjacency Guidelines.

The proposed development lies within the previously graded building pad and no portions of the development shall extend beyond the top of the slope or into the steep hillsides and sensitive biological resources. As a condition of approval, the owner/permittee shall execute and record a Covenant of Easement, which ensures preservation of the ESL that are outside the allowable development area on the premises as shown on Exhibit "A" for sensitive biological resources and steep hillsides, in accordance with LDC Section 143.0152.

The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the underlying zone and the LDC. Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to ESL.

**2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;**

The project site is located at 9438 La Jolla Farms Road on the northwest of La Jolla Shores Drive. The project proposes the construction of a 1,495 square foot addition to an existing 3,377 square foot single family dwelling unit, a 1,956 square foot habitable accessory building, a 1,094 non-habitable accessory building, screened pool area, two garages and a screened parking area. The habitable accessory building consists of a two bedroom guest quarters. The subject property is an interior lot, and is located approximately 1,425 feet from the Pacific Ocean. The site is approximately 373 feet above MSL and is located above the 100-year floodplain.

The proposed development lies within the previously graded building pad and no portions of the development shall extend beyond the top of the slope or into the steep hillsides and sensitive biological resources. As a condition of approval, the owner/permittee shall execute and record a Covenant of Easement, which ensures preservation of the ESL that are outside the allowable development area on the premises as shown on Exhibit "A" for sensitive biological resources and steep hillsides, in accordance with LDC Section 143.0152. The western property line of the site is located within approximately 50 feet the MHPA; however, the proposed additions and other improvements are a minimum of 150 feet east of the MHPA. The project has been designed to comply with the MSCP General Management Directives and the MSCP Subarea Plan's Land Use Adjacency Guidelines.

The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the underlying zone and the LDC. Therefore, the proposed development has been designed to minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

**3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;**

The 1.13 acre site is located at 9438 La Jolla Farms Road and the western edge of the site contains ESL in the form of steep hillsides and sensitive biological resources, and lies within the boundaries of an Urban Area of the City of San Diego's MSCP. The western property line of the site is located within approximately 50 feet the MHPA; however, the proposed additions and other improvements are a minimum of 150 feet east of the MHPA. The project has been designed to comply with the MSCP General Management Directives and the MSCP Subarea Plan's Land Use Adjacency Guidelines.

The proposed development lies within the previously graded building pad and no portions of the development shall extend beyond the top of the slope or into the steep hillsides and sensitive biological resources. As a condition of approval, the owner/permittee shall execute and record a Covenant of Easement, which ensures preservation of the ESL that are outside the allowable development area on the premises as shown on Exhibit "A" for sensitive biological resources and steep hillsides, in accordance with LDC Section 143.0152.

The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the underlying zone and the LDC. Therefore, the proposed development has been sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

**4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan;**

The 1.13 acre site is located at 9438 La Jolla Farms Road and the western edge of the site contains ESL in the form of steep hillsides and sensitive biological resources, and lies within the boundaries of an Urban Area of the City of San Diego's MSCP. The western property line of the site is located within approximately 50 feet the MHPA; however, the proposed additions and other improvements are a minimum of 150 feet east of the MHPA. The project has been designed to comply with the MSCP General Management Directives and the MSCP Subarea Plan's Land Use Adjacency Guidelines. Therefore, the proposed development is consistent with the City of San Diego's MSCP Subarea Plan.

**5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply; and**

The 1.13 acre site is located at 9438 La Jolla Farms Road and is an interior lot and is located approximately 1,425 feet from the Pacific Ocean. The property is located between the sea and the first public roadway paralleling the sea, which are identified as La Jolla Shores Drive and N. Torrey Pines Road at this location. The subject property is an interior lot, and is located approximately 1,425 feet from the Pacific Ocean. The site is approximately 373 feet above MSL and is located above the 100-year floodplain.

The proposed development lies within the previously graded building pad and no portions of the development shall extend beyond the top of the slope or into the steep hillsides and sensitive biological resources. The western property line of the site is

located within approximately 50 feet the MHPA; however, the proposed additions and other improvements are a minimum of 150 feet east of the MHPA. The project has been designed to comply with the MSCP General Management Directives and the MSCP Subarea Plan's Land Use Adjacency Guidelines. The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the underlying zone and the LDC. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

**6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.**

The City of San Diego reviewed of this project in accordance with CEQA guidelines. The project was determined to be categorically exempt from CEQA pursuant to Section 15302 (Replacement or Reconstruction). Therefore, there are no mitigation requirements for the proposed development. However, the permits for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the LDC in effect for this proposed development.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1051681 and Site Development Permit No. 1051682 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1051681 and No. 1051682 a copy of which is attached hereto and made a part hereof.

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Jeffrey A. Peterson  
Development Project Manager  
Development Services

Adopted on: May 22, 2013

Internal Order No. 24003221



P.O. BOX 547  
• LA JOLLA •  
CALIFORNIA 92038

**LA JOLLA COMMUNITY PLANNING ASSOCIATION**

P.O. Box 889 La Jolla CA 92038 Ph 858.456.7900

<http://www.LaJollaCPA.org> Email: [Info@LaJollaCPA.org](mailto:Info@LaJollaCPA.org)

**Regular Meeting – 06 December 2012**

**Attention:** Jeff Peterson, PM  
City of San Diego

**Project:** Roberts Residence  
9438 La Jolla Farms Road  
PN: 294531

**Motion:** Findings can be made for a CDP & SDP for the remodel of an existing 3,377 sq ft one-story single-family residence to a total of 8,058 sq ft, with some 2nd level, on a 49,145 sq ft lot at 9438 La Jolla Farms Road. 5-0-1

**Vote: 13-0-1**

A handwritten signature in black ink, appearing to read "Tony Crisafi".

**06 December 2012**

**Submitted by:** Tony Crisafi, President  
La Jolla CPA

**Date**



City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101  
(619) 446-5000

# Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title**

Roberts Residence

**Project No. For City Use Only**

294531

**Project Address:**

9438 La Jolla Farms Road

**Part I - To be completed when property is held by Individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print):  
Diane Roberts  
 Owner  Tenant/Lessee  Redevelopment Agency

Street Address:  
1175 Muirlands Drive  
City/State/Zip:  
La Jolla  
Phone No: 858-454-7636 Fax No:  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print):  
Douglas A Roberts Trust, dtd August 15, 2000  
 Owner  Tenant/Lessee  Redevelopment Agency

Street Address:  
1175 Muirlands Drive  
City/State/Zip:  
La Jolla  
Phone No: 858-454-7636 Fax No:  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency

Street Address:  
City/State/Zip:  
Phone No: Fax No:  
Signature : Date:

Name of Individual (type or print):  
 Owner  Tenant/Lessee  Redevelopment Agency

Street Address:  
City/State/Zip:  
Phone No: Fax No:  
Signature : Date:

## NOTICE OF EXEMPTION

*(Check one or both)*

TO:  RECORDER/COUNTY CLERK  
 P.O. BOX 1750, MS A-33  
 1600 PACIFIC HWY, ROOM 260  
 SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO  
 DEVELOPMENT SERVICES DEPARTMENT  
 1222 FIRST AVENUE, MS 501  
 SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH  
 1400 TENTH STREET, ROOM 121  
 SACRAMENTO, CA 95814

PROJECT TITLE/NO.: **ROBERTS RESIDENCE CDP / 294531**

PROJECT LOCATION-SPECIFIC: 9438 La Jolla Farms Road, San Diego, CA 92037

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Applicant is requesting a COASTAL DEVELOPMENT PERMIT to construct a 4,487-square-foot addition to an existing single dwelling unit. The project would also incorporate a variety of sustainable features including photovoltaic roof panels to achieve a LEED Silver Certification. The project would also construct various site improvements which includes associated hardscape and landscaping. The 49,145-square-foot project site is located at 9438 La Jolla Farms Road. The land use designation for the project site is Very Low Density Residential (0-5 du/ac) within the community plan. The project site is within the RS-1-2 zone, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable area), the First Public Roadway, the Parking Impact Overlay Zone (Beach Impact and Campus Impact areas), the Residential Tandem Parking Overlay Zone, and the La Jolla Community Plan area. (LEGAL DESCRIPTION: Lot 24 of La Jolla Farms, Mao No. 3487).

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Diane Roberts, : 9438 La Jolla Farms Road, San Diego, CA 92037, (858) 454-0805.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268)
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a))
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
- CATEGORICAL EXEMPTION: 15302 (Replacement or Reconstruction)
- STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review that determined that the project would not have the potential for causing a significant effect on the environment in that the project is proposing the demolition of an existing single-dwelling unit and subsequent construction of a replacement single-dwelling unit. The project is consistent with the General Plan, Community Plan, and zoning requirements. The project meets the criteria set forth in CEQA Section 15302 which allows for the replacement or reconstruction of existing structures where the new structure will be located on the same site and have substantially the same purpose and capacity as the structure being replaced. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environmental were identified; the project is not adjacent to a scenic highway; the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

LEAD AGENCY CONTACT PERSON: E. Shearer-Nguyen

TELEPHONE: (619) 446-5369

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?  
 YES       NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA.

  
\_\_\_\_\_  
SIGNATURE/TITLE

SENIOR PLANNER

March 29, 2013  
\_\_\_\_\_  
DATE OF PROJECT APPROVAL

CHECK ONE:

- SIGNED BY LEAD AGENCY  
 SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



THE CITY OF SAN DIEGO

Date of Notice: April 5, 2013

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

Internal Order No. 24003221

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**PROJECT NAME/NUMBER:** ROBERTS RESIDENCE CDP / 294531

**COMMUNITY PLAN AREA:** La Jolla

**COUNCIL DISTRICT:** 1

**LOCATION:** 9438 La Jolla Farms Road, San Diego, CA 92037

**PROJECT DESCRIPTION:** Applicant is requesting a COASTAL DEVELOPMENT PERMIT to construct a 4,487-square-foot addition to an existing single dwelling unit. The project would also incorporate a variety of sustainable features including photovoltaic roof panels to achieve a LEED Silver Certification. The project would also construct various site improvements which includes associated hardscape and landscaping. The 49,145-square-foot project site is located at 9438 La Jolla Farms Road. The land use designation for the project site is Very Low Density Residential (0-5 du/ac) within the community plan. The project site is within the RS-1-2 zone, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable area), the First Public Roadway, the Parking Impact Overlay Zone (Beach Impact and Campus Impact areas), the Residential Tandem Parking Overlay Zone, and the La Jolla Community Plan area. (LEGAL DESCRIPTION: Lot 24 of La Jolla Farms, Mao No. 3487).

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego Hearing Officer

**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA State Guidelines, Sections 15302 (Replacement or Reconstruction)

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City of San Diego conducted an environmental review that determined that the project would not have the potential for causing a significant effect on the environment in that the project is proposing the demolition of an existing single-dwelling unit and subsequent construction of a replacement single-dwelling unit. The project is consistent with the General Plan, Community Plan, and zoning

requirements. The project meets the criteria set forth in CEQA Section 15302 which allows for the replacement or reconstruction of existing structures where the new structure will be located on the same site and have substantially the same purpose and capacity as the structure being replaced. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environment were identified; the project is not adjacent to a scenic highway; the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

**DEVELOPMENT PROJECT MANAGER:** Jeffery A. Peterson  
**MAILING ADDRESS:** 1222 First Avenue, MS501, San Diego CA 92101  
**PHONE NUMBER:** (619) 446-5237

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On March 29, 2013 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 15 business days from the date of the posting of this Notice (April 26, 2013). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

DEVELOPMENT SERVICES DEPARTMENT  
PROJECT CHRONOLOGY  
**ROBERTS RESIDENCE - PROJECT NO. 294531**

<b>Date</b>	<b>Action</b>	<b>Description</b>	<b>City Review Time (Working Days)</b>	<b>Applicant Response</b>
9/26/2012	First Submittal	Project Deemed Complete	-	-
10/22/2012	First Assessment Letter		18 days	
12/13/2012	Second Submittal			35 days
1/7/2013	Second Assessment Letter		11 days	
1/29/2013	Third Submittal			15 days
2/11/2013	Third Assessment Letter		9 days	
2/20/2013	Fourth Submittal			6 days
3/5/2013	Fourth Assessment Letter	All issues resolved except the environmental determination	9 days	
3/28/2013	Environmental Review		17 days	
3/29/2013	Environmental Determination	Environmental Exemption	1 day	
4/5/2013	NORA Posted	Exempt and NORA was posted	4 days	
4/26/2012	NORA Appeal Period	NORA appeal period ends.		10 days
5/22/2013	Public Hearing	<b>First available date</b>	18 days	
<b>TOTAL STAFF TIME</b>		(Does not include City Holidays or City Furlough)	<b>87 days</b>	
<b>TOTAL APPLICANT TIME</b>		(Does not include City Holidays or City Furlough)		<b>66 days</b>
<b>TOTAL PROJECT RUNNING TIME</b>		From Deemed Complete to Hearing	<b>153 working days</b> (239 calendar days)	